



## BOROUGH OF OAKLAND, NEW JERSEY

MAR 4 2021

TO: Board of Adjustment

FROM: Glen Turi

This is to advise you that on February 8, 2021 a denial was issued to the resident Stephanie Gurnari and Vincent Gurnari III for the location 12 Deerlawn Court, Oakland, NJ 07436

Block: 2801 Lot: 56

Zoning District: RA-1 For: Construction of an addition and Accessory Building

For the following reasons:

- 1) Maximum number of Stories for an accessory building
- 2) Minimum separation from principle building

The Ordinances pertaining to this application are:

Chapter 59

Attachment 6

Fee: \$50.00 Paid by: # LOD: #Z-0208003

An appeal to the Board of Adjustment of the determination must be made within twenty (20) days of the date of this determination.

  
\_\_\_\_\_  
Glen Turi  
Zoning Official

**AFFIDAVIT OF APPLICANT**

STATE OF NEW JERSEY}

COUNTY OF BERGEN }

ss:

Stephanie and Vincent Gurrari of full age, being dully sworn according to law, on oath deposes and says that all of the above statements and the statements contained in the papers submitted herewith are true.

Sworn to and subscribed

Before me this 28 day

Of February, 20 21.

(Applicant to sign here)

**AFFIDAVIT OF OWNERSHIP**

STATE OF NEW JERSEY}

COUNTY OF BERGEN }

ss:

Stephanie and Vincent Gurrari of full age, being duly sworn according

to law on oath deposes and says, that the deponent resides at 12 Deerpawn Ct in the Borough of Oakland in the County of Bergen and the State of New Jersey

that Stephanie + Vince Gurrari is the owner in fee of all that certain lot, piece or parcel of land situated, lying, and being in the municipality aforesaid, and known and designated as block 2801 and lot 56.

Sworn to and subscribed

Before me this 28 day

Of February, 20 21.

(Owner to sign here)

**AUTHORIZATION**

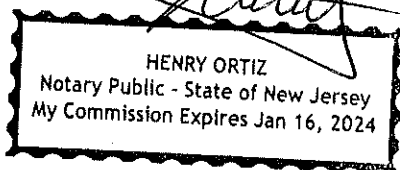
(If anyone other than above owner is making this application, the following authorization must be executed.)

To the Board of Adjustment:

is hereby authorized to make the within application.

Dated: \_\_\_\_\_

(owner to sign here)



**BOROUGH OF OAKLAND  
BERGEN COUNTY, NEW JERSEY**

Number \_\_\_\_\_ Hearing Date \_\_\_\_\_

Disposition \_\_\_\_\_ Site Inspection \_\_\_\_\_

Name                      Address                      Telephone

Applicant Mr. and Mrs. Vincent Gurnari  
12 Deerlawn Ct, Oakland, NJ 07436

Owner Stephanie and Vincent Gurnari

Tenant/Leasee \_\_\_\_\_

Agent for Owner \_\_\_\_\_

Property Location 12 Deerlawn Ct Block 2801 Lot 56

**APPLICATION FOR APPEAL FROM ADMINISTRATIVE DECISION  
OR VARIANCE FROM THE REQUIREMENTS OF THE ZONING  
ORDINANCE**

**Check nature of the application:**

- ☐ Appeal interpretation of Building Inspector. (Type A)
- ☐ Bulk variance, requesting relief from dimensional zoning code requirement (Type C).
- ☒ Use variance from zoning code permitted uses. (Type D)

**To the Board of Zoning Adjustment:**

This appeal is from the decision rendered by the Building Inspector dated February 8,  
20 21. The Board acts only on appeal from an Administrative decision.

**Variation Requested**

An appeal is hereby made for a variance from the terms of sections and paragraphs  
numbered 59 of the Zoning ordinance so as to permit (in accordance with  
the attached plans):

Drawing A1, A2, A3, A4

## Reasons for variation

The law requires that certain conditions must be established before a variance can be granted.

Note: The Board of Adjustment is required to make a written finding of facts from the showing applicant makes that the three enumerated conditions exist and, in addition, must find that the granting of such variance will not be contrary to the objectives of the Zoning Plan.

(Explain in detail wherein your case conforms to the following three requirements. Not required for administrative appeals applications)

1. That the strict application of the provisions of the Zoning ordinance would result in practical difficulties or unnecessary hardships inconsistent with its general purpose and intent, or where the benefit outweighs the detriment.  
The ht of the new Accessory structure is considered 1 1/2 due to the Mansard Roof design. The rear of the structure is 1-story due to grade. The front, due to the design appears to be 1 1/2 story. Due to grade the distance from the Principal Bldg is
2. That there are exceptional circumstances or conditions applicable to the property involved, its intended use or its development that do not generally apply to other property in the same zone and /or neighborhood. slightly more than permitted

3. That the granting of this variance will not be materially detrimental to the public welfare or injurious to the other property or improvements in that zone and / or neighborhood.

The Variances Requested Are MINIMAL  
And ~~due to the site conditions~~  
will not materially have a  
detrimental affect to the neighborhood.  
Additionally the ~~design of the~~ Architectural  
design of the Accessory Building matches  
the Architecture of the Principal Building  
And use of the Mansard Roof design  
Adds to the Aesthetic Value And ~~the~~

Description of proposed structure, property or use:

(If answers to any of the questions below is none or not applicable, indicate "N/A")

1. Block number 2801 Lot number 56 Zoning district RA-1
2. Street Address 12 Deerlawn Ct
3. Located between off Martha Place and \_\_\_\_\_  
(give street names)
4. Has present or previous owner or applicant held title to or held any interest in  
Adjoining property at any time? Yes \_\_\_\_\_ No ☒ If yes, explain nature of  
interest. \_\_\_\_\_
5. Lot length & width: 177' x 185' Interior of corner lot? \_\_\_\_\_
6. Number of Streets the lot has frontage on: 1 Lot square foot area 32,441
7. Building size: (length & width) \_\_\_\_\_
8. Height of building: (stories & feet) PRINCIPAL 2 sty - 32'
9. Percentage of lot occupied by building: ACCESSORY 1 1/2 sty, ADV. HT. 18.5'  
Now: 4.4 % - With proposed addition 8.4 %
10. Setback from property lines:

	Front	Rear	Right side	Left side
a. Existing:	<u>51.4</u>	<u>81' 3"</u>	<u>85'</u>	<u>20'</u>
b. Proposed:	<u>51.4</u>	<u>65' 7"</u>	<u>22'</u>	<u>20'</u>
11. Has there been any previous appeal involving these premises?  
Yes \_\_\_\_\_ No ☒
12. Premises presently or last occupied as Single Family
13. Has premises been the subject of any Planning Board action?  
Yes \_\_\_\_\_ No ☒  
If yes, attach a copy of Planning Board resolution to this application.
14. Date present owner became owner of property. December 2009

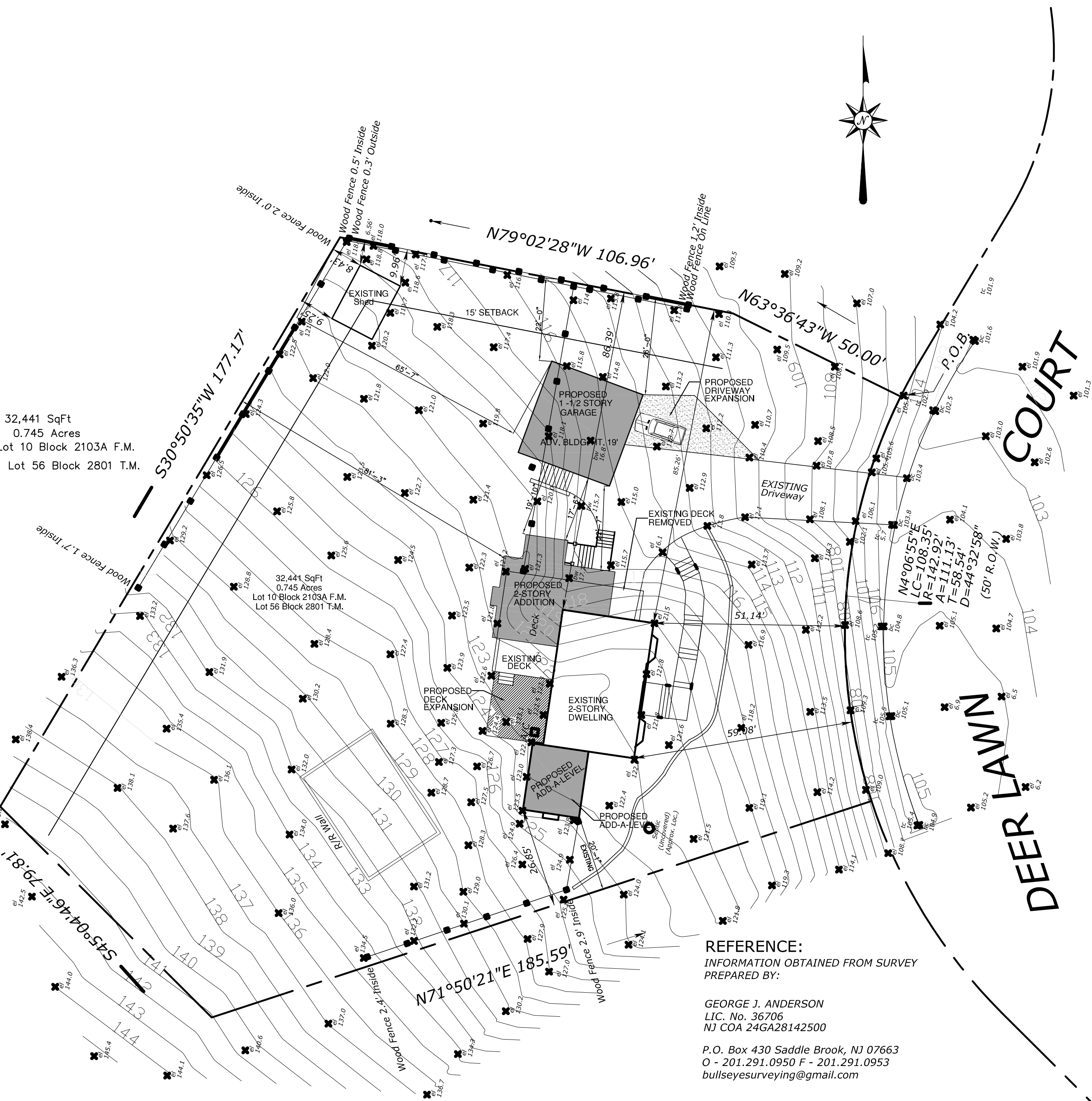
### ZONING TABLE

This **MUST** be completely filled out in order for your application to be deemed complete  
 ZONE OF SUBJECT PROPERTY: \_\_\_\_\_

	REQUIRED	EXISTING	PROPOSED
Lot Area	<u>43,560</u> sf min	<u>32,441</u> sf	<u>32,441</u> sf
Lot Width	<u>150'</u> ft min	<u>142</u> ft	<u>142</u> ft
Lot Depth	<u>200'</u> ft min	<u>185</u> ft varies	<u>NO</u> ft change
Building Coverage*  (calculated: total building footprint square footage divided by lot area x 100%)	<u>20</u> % max	<u>4.4</u> %	<u>8.4</u> %
Impervious Coverage**  (calculated: total impervious footprint square footage divided by lot area x 100%)	<u>40</u> % max	<u>10.3</u> %	<u>16.3</u> %
Front Setback	<u>50</u> ft min	<u>51</u> ft	<u>51</u> ft
Side Setback	<u>30</u> ft min	<u>20'</u> ft (Left) <u>85</u> ft (Right)	<u>20'</u> ft (Left) <u>22</u> ft (Right)
Rear Setback	<u>75</u> ft min	<u>81</u> ft	<u>65</u> ft
Building Height	<u>32'</u> ft max <u>2</u> stories max	<u>32</u> ft <u>2</u> stories	<u>32</u> ft <u>2</u> stories

\*Building Coverage: that percentage of a lot covered by the roof(s) of all principal and accessory building(s), including roofed over porches and similar extensions of a building such as roofed decks.

\*\*Impervious Surfaces: surfaces covered by roofs, pavement, walks, patios, and other materials so that underlying soils are highly resistant to infiltration of water. This includes all buildings, porous paving, paver blocks, gravel, crushed stone, decks, patios, elevated structures, and other similar structures, surfaces, or improvements.



PROJECT PLOT PLAN

SCALE: 1" = 20'-0"

REFERENCE:  
INFORMATION OBTAINED FROM SURVEY  
PREPARED BY:

GEORGE J. ANDERSON  
LIC. No. 36706  
NJ COA 24GA28142500

P.O. Box 430 Saddle Brook, NJ 07663  
O - 201.291.0950 F - 201.291.0953  
bullseyesurveying@gmail.com

Being known and designated as Lot 10 Block 2103A on a certain map entitled  
Deer Lawn Court, being a portion of the lot known as Lot 10 Block 2103A  
Filed in the Bergen County Clerk's Office on April 24, 1957 as Map No. 5115

SCHEDULE A  
BULK REQUIREMENTS PRINCIPAL BUILDING

	ZONE	MIN. LOT AREA	LOT WIDTH	LOT DEPTH	BUILDING COVERAGE	IMPERVIOUS COVERAGE	MAX. STORIES	MAX BLDG. HEIGHT	FRONT YARD	SIDE YARD	REAR YARD
REQUIRED	RA-1	43,560 S.F.	150'	200'	20%	40%	2 1/2	32'	50'	30'	75'
EXISTING / PROPOSED		32,441 S.F. NO CHANGE	VARIES NO CHANGE	VARIES NO CHANGE	8.4% PROPOSED	16.3% PROPOSED	2 NO CHANGE	32' PROPOSED	51' NO CHANGE	21' EXISTING WITH ADDED LEVEL	81' NO CHANGE

SCHEDULE B  
ACCESSORY BUILDING INSIDE LOT

	ZONE	ALLOWABLE PERCENT OF LOT	MIN. DIST. FROM SIDE LOT LINE	MIN. DIST. FROM REAR LOT LINE	MAXIMUM NUMBER OF STORIES	MAXIMUM SEPARATION FROM PRINCIPAL BUILDING
PERMITTED	RA-1	5% 1,622 SF	15' IF BLDG. OVER 200 SF	15' IF BLDG. OVER 199 SF	1	15'
PROPOSED		676 SF	22'	65.6'	1 1/2	17'-6" & 19'-10"

PROPOSED IMPERVIOUS COVERAGE	
ZONE RA-1 LOT: 32,441 SF	
EXISTING HOUSE FOOT PRINT	1,260 SF
PROPOSED ADDITION	620 SF
EXISTING SHED	195 SF
PROPOSED GARAGE	676 SF
EXISTING DRIVEWAY	1,760 SF
PROPOSED ADDED DRIVEWAY	395 SF
EXISTING DECK	140 SF
PROPOSED ADDED DECK	270 SF
TOTAL AREA	5,316 S.F.
16.3% OF LOT	

PROPOSED BUILDING COVERAGE	
ZONE RA-1 LOT: 32,441 SF	
EXISTING HOUSE FOOT PRINT	1,260 SF
PROPOSED ADDITION	620 SF
EXISTING SHED	195 SF
PROPOSED GARAGE	676 SF
TOTAL AREA	2,751 S.F.
8.4% OF LOT	

PROPOSED RENOVATION AND ADDITION:

GURNARI RESIDENCE  
12 DEER LAWN COURT  
OAKLAND, NJ

LOT: 56 BLOCK: 2801

DATE : 1-23-21

A1

SHEET 1 OF 4

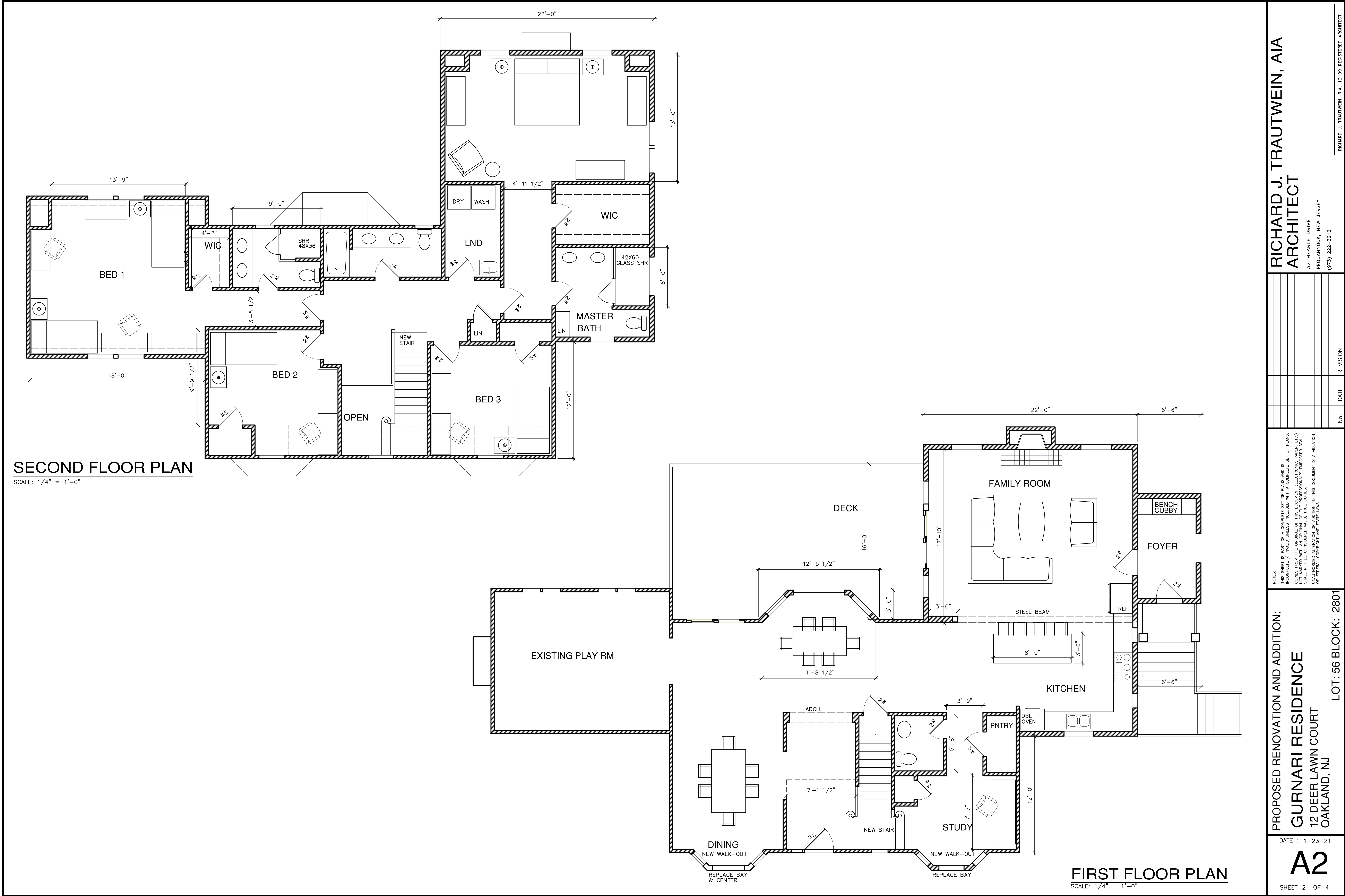
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No.	DATE	REVISION
1	2-17-21	ACCESSORY BUILDING DIST.

RICHARD J. TRAUTWEIN, AIA  
ARCHITECT

32 HEARLE DRIVE  
PEQUANNOCK, NEW JERSEY  
(973) 222-3212

RICHARD J. TRAUTWEIN, R.A. 12199 REGISTERED ARCHITECT



RICHARD J. TRAUTWEIN, AIA  
ARCHITECT

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PROPOSED RENOVATION AND ADDITION:  
GURNARI RESIDENCE  
12 DEER LAWN COURT  
OAKLAND, NJ

LOT: 56 BLOCK: 2801

DATE : 1-23-21  
**A2**  
SHEET 2 OF 4

No. DATE REVISION

RICHARD J. TRAUTWEIN, R.A. 12199 REGISTERED ARCHITECT





SCALE:  $1/4" = 1'-0"$



SCALE:  $1/4" = 1'-0"$



SCALE:  $1/4" = 1'-0$

## PROPOSED RENOVATION AND ADDITION:

# GURNARI RESIDENCE

12 DEER LAWN COURT

OAKLAND, NJ

IOT: 56 BLOCK: 2801

DATE : 1-23-21

# A3

SHEET 3 OF 4

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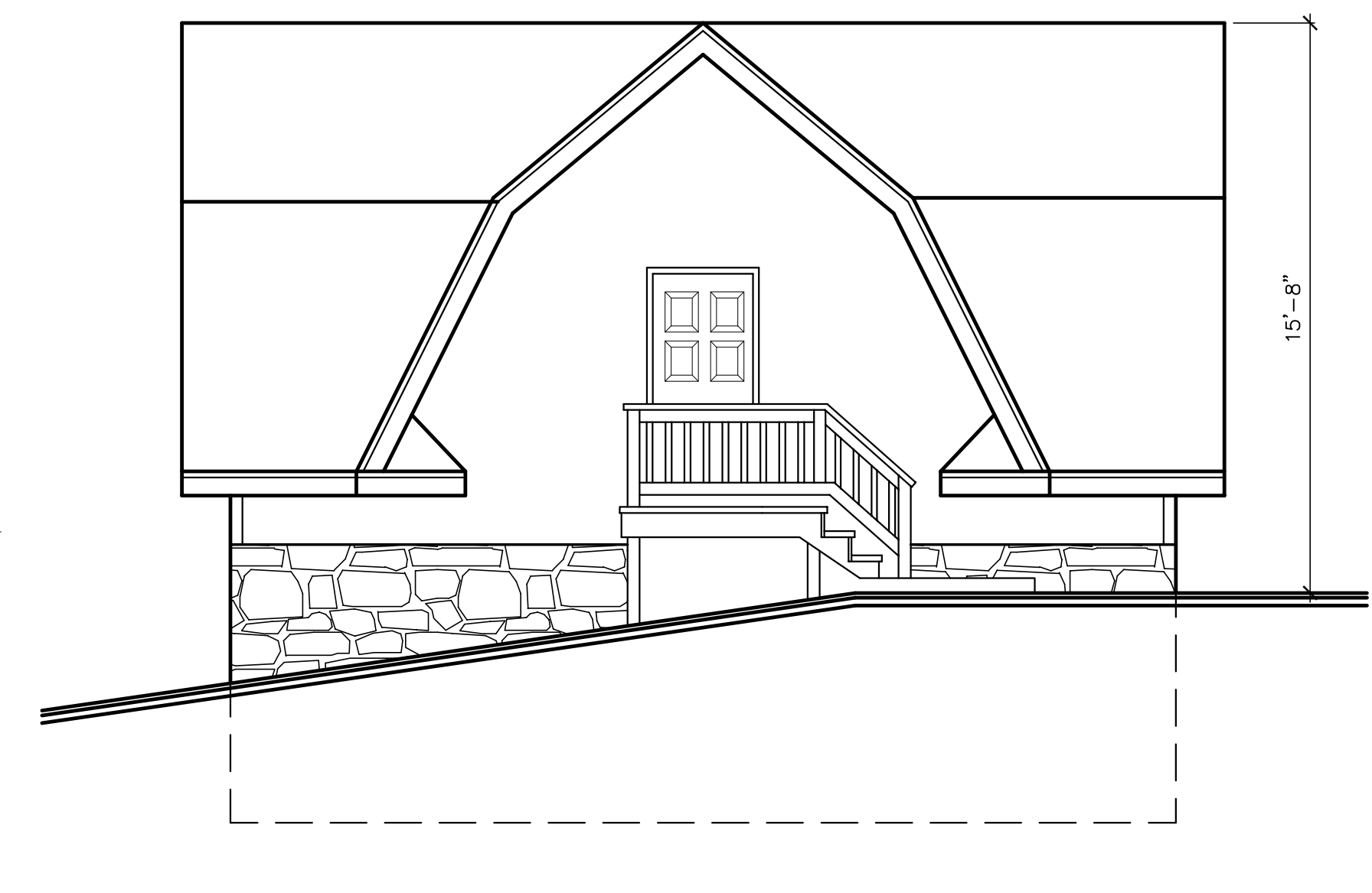
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ARCHITECT

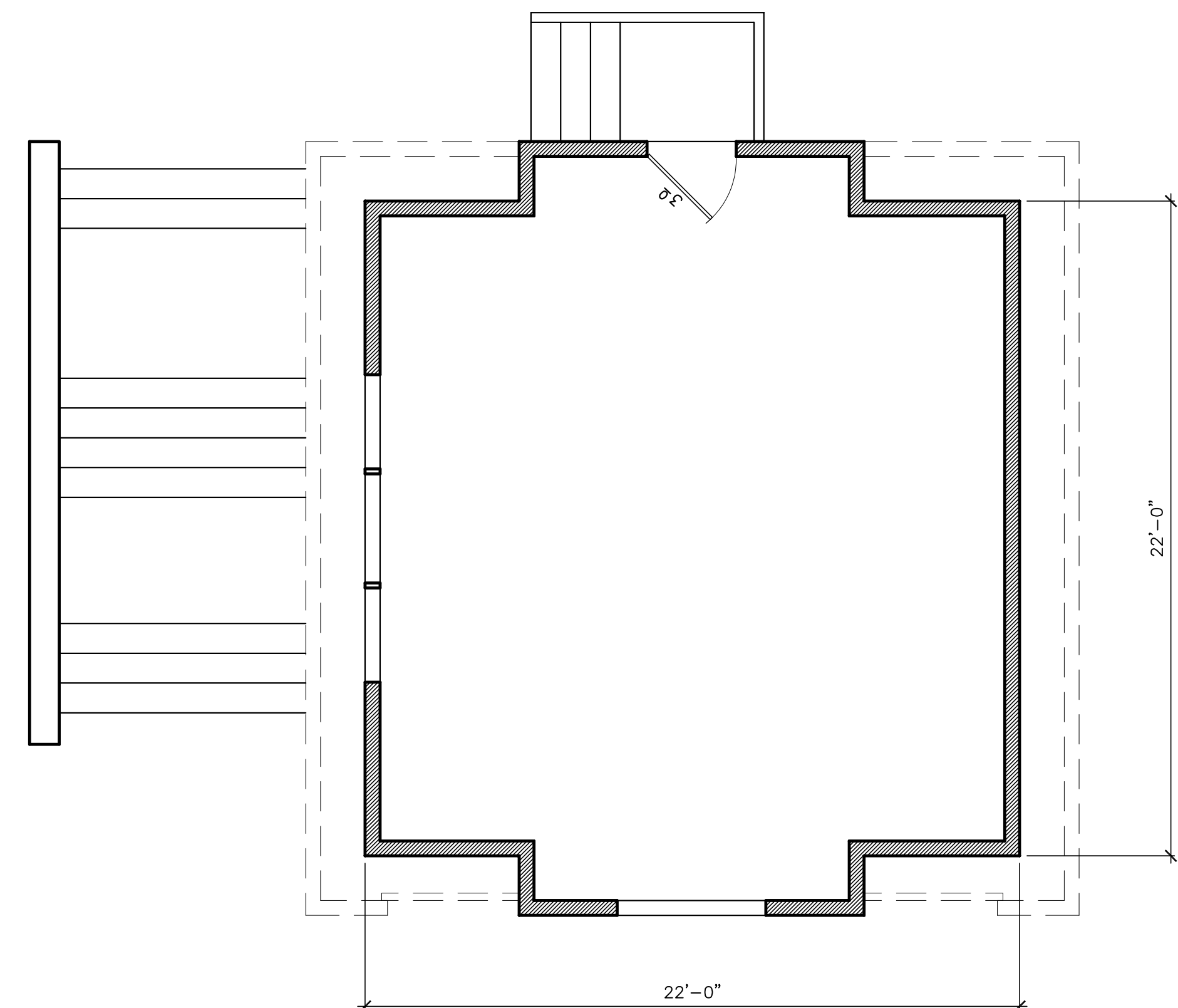
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## GARAGE REAR ELEVATION

SCALE: 1/4" = 1'-0"



## SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

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PROPOSED RENOVATION AND ADDITION:  
**GURNARI RESIDENCE**  
12 DEER LAWN COURT  
OAKLAND, NJ  
LOT: 56 BLOCK: 2801

DATE : 1-23-21

**A4**

SHEET 4 OF 4

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