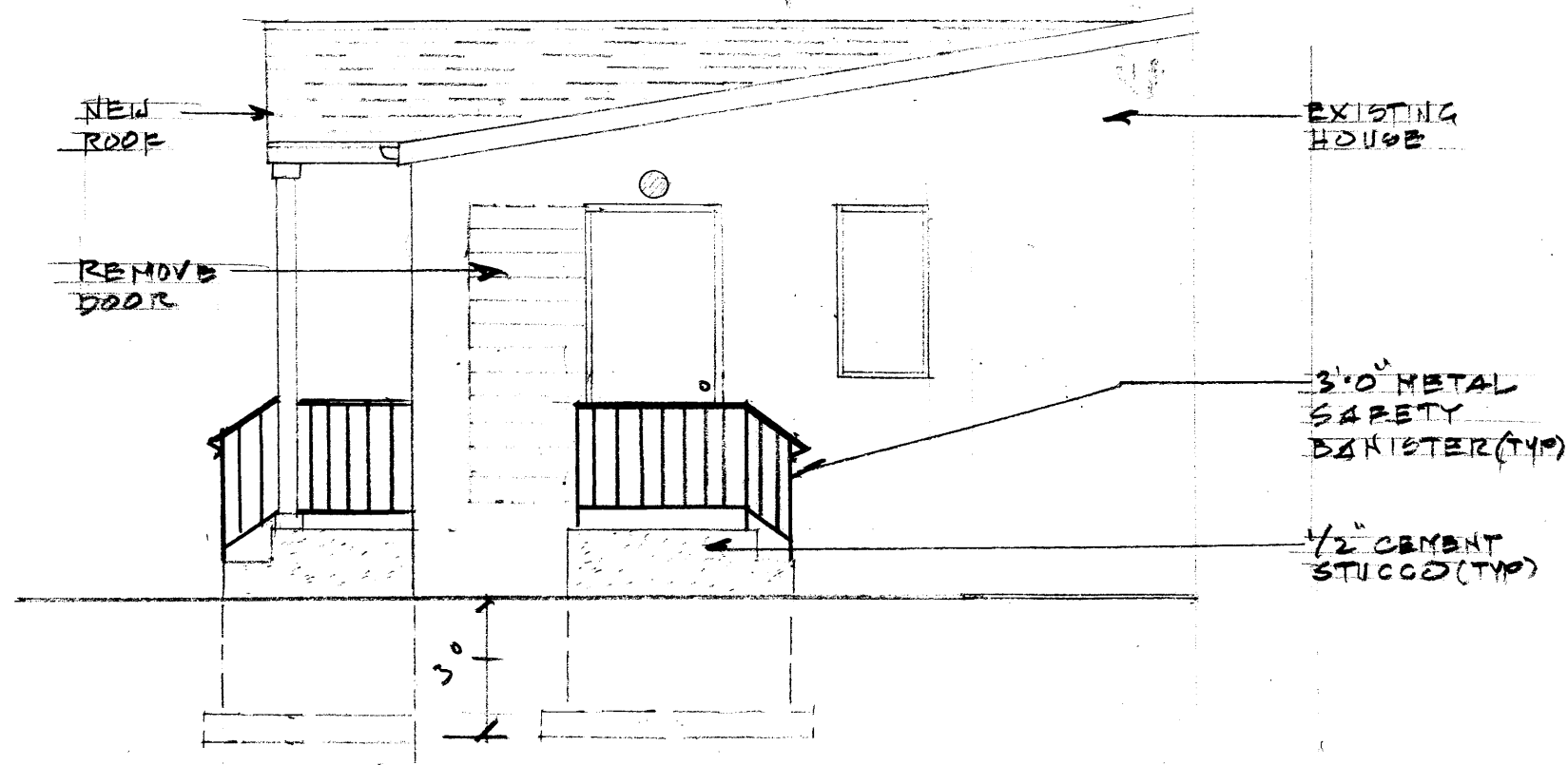


FIRST FLOOR PLAN 1/4"=1'

PLAN RELEASE		
BUILDING	JW	4/23/22
ELECTRICAL	SIGNATURE	DATE
PLUMBING	SIGNATURE	DATE
FIRE	SIGNATURE	DATE
ZONING	SIGNATURE	DATE

PROJECT:	
ADDITION FOR: KAPTURKIEWICZ 25 CEDAR STREET OAKLAND, NJ	
ROBERT MURPHY ARCHITECT 13 BRADRICK LA. W. MILFORD NEW JERSEY (201) 207 5537	
DWG. TITLE: FLOOR PLAN	
SHEET No.	DRAWN: RM
A1	DATE: 10-22-19
	SCALE: AS NOTED
	1 OF 5

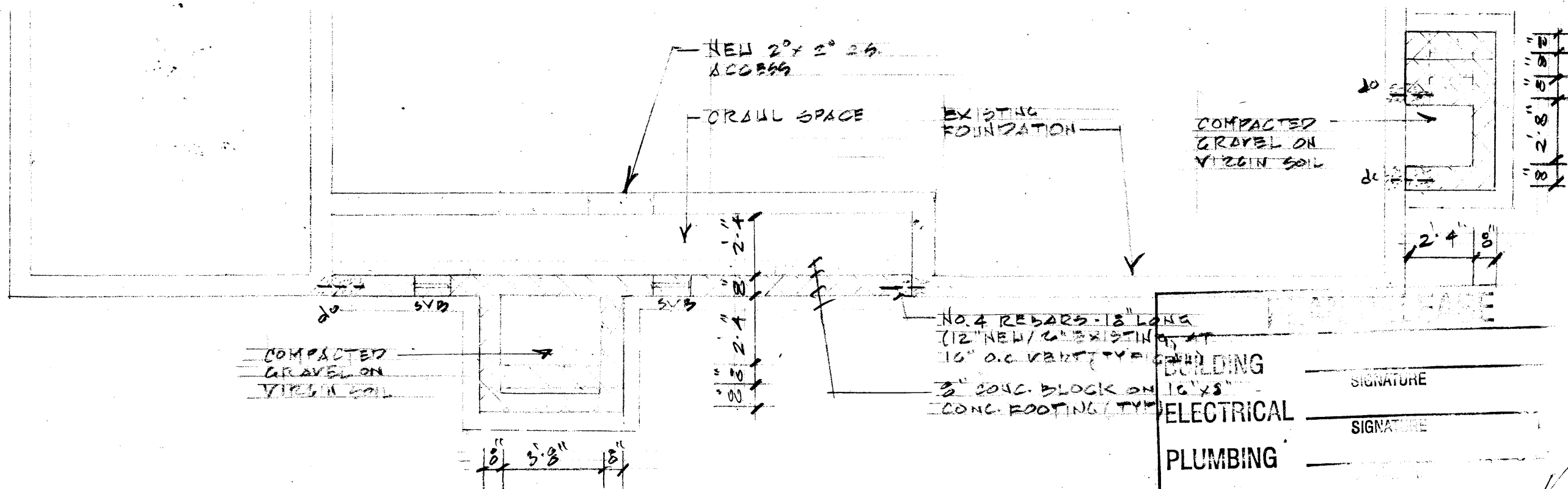


RIGHT SIDE ELEVATION 1/4" = 1'

LEGEND

- EXISTING CONSTRUCTION
- NEW WALLS / PARTITIONS
- DEMOLITION
- NEW CEILING LIGHT FIXTURE MR - MOISTURE RESISTANT
- NEW CEILING LIGHT FIXTURE WITH PULL CHAIN & DUPLEX OUTLET
- NEW WALL SCENCE
- NEW DUPLEX WALL OUTLET GFI - GROUND FAULT INTERRUPT WP - WATER PROOF
- NEW LIGHT FIXTURE/EXH. FAN
- NEW EXHAUST FAN
- NEW SMOKE DETECTOR - HARD WIRED/INTERCONNECTED WITH BATTERY BACKUP
- NEW SMOKE/CARBON MONOXIDE DETECTOR - HARD WIRED/INTERCONNECTED WITH BATTERY BACK UP
- NEW HEAT DETECTOR

NOTE: INTERCONNECT NEW DETECTORS TO ANY EXISTING DETECTORS



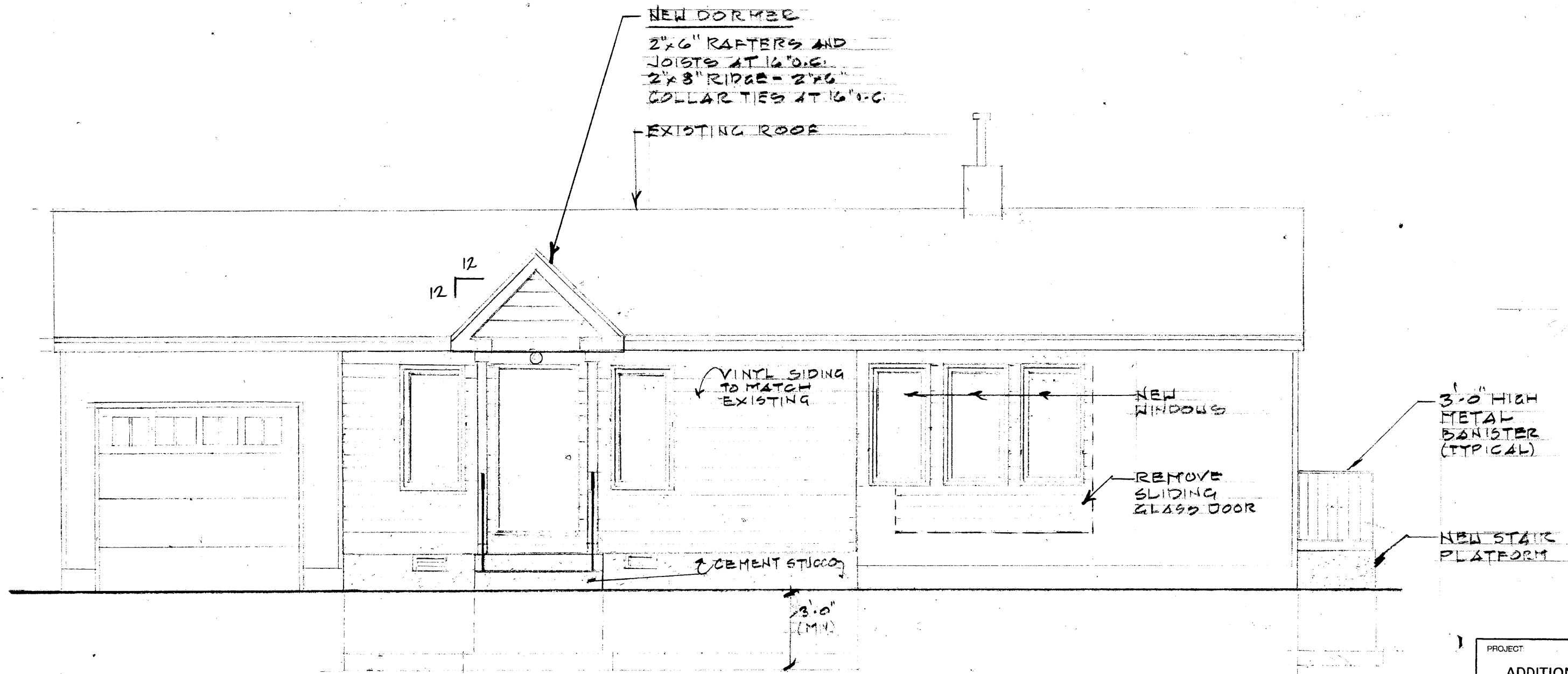
FOUNDATION PLAN 1/4" = 1'

PROJECT:  
ADDITION FOR:  
KAPTURKIEWICZ  
25 CEDAR STREET  
OAKLAND, NJ

ROBERT MURPHY  
ARCHITECT  
13 BRADICK LA. W. MILFORD NEW JERSEY  
(201) 207 5537

DWG. TITLE:  
PLAN  
LEGEND

SHEET No. **A2**  
DRAWN: **RM**  
DATE: **10.22.19**  
SCALE: **AS NOTED**  
2 OF 5



FRONT ELEVATION 1/4" = 1'

PLAN RELEASE	
BUILDING	_____
ELECTRICAL	_____
MECHANICAL	_____
PLUMBING	_____
ROOFING	_____
LANDSCAPING	_____
OTHER	_____

PROJECT:	
ADDITION FOR: KAPTURKIEWICZ 25 CEDAR STREET OAKLAND, NJ	
ROBERT MURPHY ARCHITECT 13 BRADRICK LA. W. MILFORD NEW JERSEY (201) 207 5537	
DWG. TITLE: BUILDING ELEVATION	
SHEET No.	DRAWN: RM
DATE: 10-12-19	SCALE: AS NOTED
3 OF 5	

GENERAL CONDITIONS

1. ALL CONSTRUCTION WORK PERFORMED SHALL COMPLY WITH LOCAL BUILDING AND ZONING CODES OF THE TOWN OF OAKLAND
2. CONTRACTOR OR ANY SUBCONTRACTOR TO THE CONTRACTOR SHALL CARRY AND MAINTAIN CURRENT LIABILITY AND PROPERTY DAMAGE INSURANCE AGAINST ACCIDENTS AND WORKERS COMPENSATION FOR ALL TYPES OF ACCIDENTS OR INJURIES. CONTRACTOR SHALL PROVIDE PROPERTY OWNER COPY OF CERTIFICATE OF INSURANCE.
3. CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND DIMENSIONS AGAINST THOSE SHOWN ON THE PLANS AND SHALL ADVISE THE OWNER AND ENGINEER OF ANY DISCREPANCIES. DIMENSION SHOWN ARE WITHIN +/- 1 INCH FOR THE EXISTING STRUCTURE. DIMENSION ARE TAKEN FROM FACE TO FACE OF STUD.
4. CONTRACTOR SHALL PERFORM ALL WORK IN A PROFESSIONAL WORKMAN LIKE MANNER BY SKILLED TRADES.
5. CONTRACTOR SHALL PATCH AND FINISH ALL SURFACES WITH SIMILAR MATERIALS THAT WERE ALTERED DURING THE COURSE OF CONSTRUCTION.
6. CONTRACTOR SHALL FINISH AND PAINT ALL NEW AND ALTERED SURFACES. GYPSUM BOARD SHALL BE INSTALLED USING SHEETROCK SCREWS, RECEIVE THREE COATS OF WALLBOARD COMPOUND, SANDED AND READY FOR PAINTING. GYPSUM BOARD SHALL HAVE ONE COAT OF PRIMER AND TWO FINISH COATS OF PAINT. OWNER TO SELECT COLOR OF PAINT.
7. CONTRACTOR SHALL PROVE PROTECTION OF THE EXISTING AND NEW STRUCTURE AGAINST THE ELEMENTS AT ALL TIMES.
8. CONTRACTOR SHALL FURNISH AND INSTALL ALL MATERIALS UNLESS OTHERWISE NOTED. ALL MATERIALS SHALL BE NEW AND IN THEIR ORIGINAL SHIPPING PACKAGING.
9. CONTRACTOR SHALL MAINTAIN SITE IN A CLEAN CONDITION AND SAFE AT ALL TIMES DURING THE PERFORMANCE OF THE CONSTRUCTION WORK.

SITE WORK

1. CONTRACTOR SHALL PROVIDE SITE PROTECTION TO ADJACENT PROPERTIES FROM WATER AND SILT RUNOFF. SILT FENCING, RAYBAILS ETC SHALL BE INSTALLED AS REQUIRED TO PREVENT WATER AND SILT RUNOFF.
2. FOUNDATION FOOTINGS AND WALL SHALL BE BACKFILLED. BACKFILL SHALL BE EVENLY SPREAD AND TAMPERED IN LIFTS NOT EXCEEDING TWELVE INCHES.

CONCRETE

1. CONCRETE SHALL HAVE A MINIMUM VALUE OF 3,000 PSI COMPRESSIVE STRENGTH AFTER 28 DAYS OF CURING FOR WALLS, SLAB AND FOOTINGS.
2. FOUNDATION FOOTINGS SHALL EXTEND A MINIMUM OF THREE (3) FEET BELOW FINISHED GRADE. FOOTINGS SHALL REST ON UNDISTURBED SOIL OF SUITABLE BEARING MATERIAL AND CAPACITY AT WHATEVER DEPTH FOUND.

INTERIOR WALLS AND CEILINGS

1. INTERIOR WALLS AND CEILINGS SHALL BE COVERED WITH 1/2" GYPSUM WALL BOARD.
2. ALL GYPSUM BOARD SHALL RECEIVE THREE COATS OF SPACKLE. SPACKLE SHALL BE SANDED SMOOTH. GYPSUM WALL BOARD SHALL RECEIVE ONE COAT OF PRIMER AND TWO FINISH COATS OF LATEX PAINT. OWNER TO SELECT BRAND OF PAINT AND COLORS.

ELECTRICAL

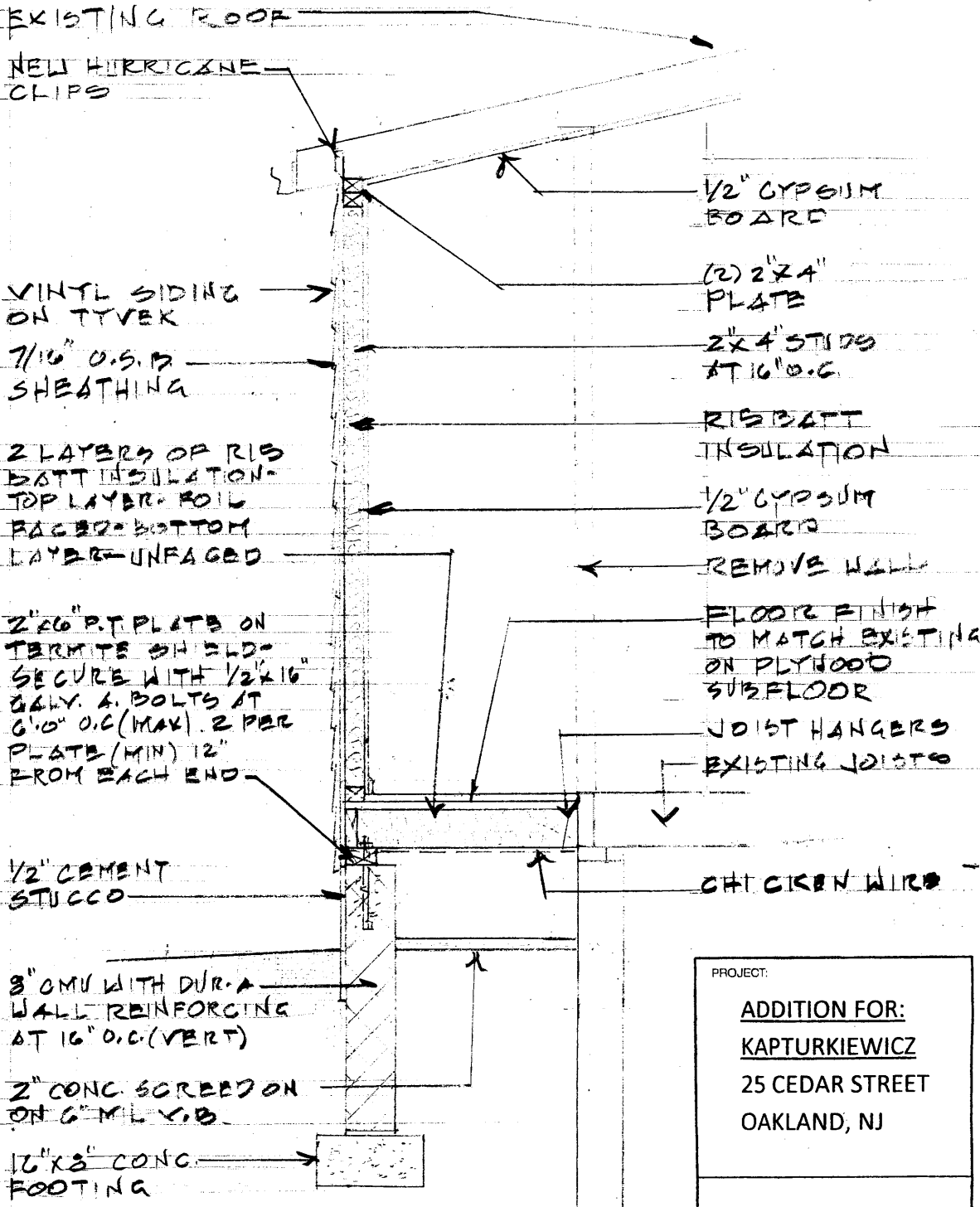
1. ALL ELECTRICAL WORK SHALL COMPLY WITH THE NATIONAL FIRE PREVENTION ASSOCIATION CODE 70 AND ANY ELECTRICAL CODES OF THE TOWN OF OAKLAND
2. ALL ELECTRICAL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICIAN. ALL ELECTRICAL WORK SHALL BE INSPECTED BY A NATIONAL BOARD OF FIRE UNDERWRITERS INSPECTION AGENCY.
3. FIXTURES, OUTLETS, SWITCHES ETC SHALL BE SELECTED BY THE OWNER.

PLUMBING

1. ALL PLUMBING WORK SHALL WITH THE PLUMBING CODES OF THE TOWN OF OAKLAND
2. ALL PLUMBING WORK SHALL BE PERFORMED BY A LICENSED PLUMBER.
3. ALL PLUMBING IN UNHEATED SPACES SHALL BE PROPERLY INSULATED TO PROTECT AGAINST PIPE FREEZING.

WOOD FRAMING

1. ALL STRUCTURAL LUMBER SHALL HAVE A MINIMUM STRESS E OF 1,500 PSI AND E OF 1,700,000 PSI. LUMBER SHALL BE DOUGLAS FIR #1 OR #2 GRADE OR APPROVED EQUAL. LUMBER SHALL BE SOUND, DRY (19%) AND FREE OF DEFECTS.
2. FRAMING SHALL BE PLATFORM TYPE. DOUBLE TOP PLATES, TRIPLE CORNER STUDS, DOUBLE JOISTS UNDER ALL PARTITIONS RUNNING PARALLEL WITH SPANS AND AROUND ALL FLOOR OPENINGS. DOUBLE STUDS AROUND ALL WALL OPENINGS.
3. EXTERIOR SHEATHING SHALL BE 1/2" CDX EXTERIOR PLYWOOD FOR WALLS AND ROOF UNLESS OTHERWISE NOTED.
4. HEADERS SHALL BE 2 - 2" X 10" FOR 4' WALLS AND 3 - 2" X 10" FOR 6' WALLS OVER WINDOWS, DOORS AND OPENINGS 6 FEET IN LENGTH OR LESS.
5. HEADERS SHALL BE 2 - 2" X 12" WITH 1/2" X 11 1/4" PLYWOOD FLITCH PLATE FOR 4' WALLS AND 3 - 2" X 12" WITH 1/2" X 11 1/4" PLYWOOD FLITCH PLATE FOR 6' WALLS. ~~FOR OPENINGS OVER 6 FEET IN LENGTH AND OVER~~
6. SILL PLATES PLACED ON CONCRETE OR MASONRY WALLS AND SLAB FOOTINGS SHALL BE PRESSURE TREATED SOUTHERN YELLOW PINE. SILL SEAL SHALL BE PROVIDED.
7. FLOOR JOISTS SHALL HAVE SOLID BRIDGING AT A MAXIMUM OF 6 FOOT ON CENTER SPACING. BRIDGING MATERIAL SHALL BE 1" X 3" WOOD OR PREFORMED METAL.
8. WOOD I BEAMS SHALL BE GEORGIA PACIFIC W180 WOOD I BEAM JOISTS OR OTHER APPROVED MANUFACTURER OF EQUAL PERFORMANCE. WOOD I BEAMS SHALL BE HANDLED AND INSTALLED AS PER MANUFACTURER'S INSTRUCTIONS. ANY ASSOCIATED ACCESSORIES REQUIRED FOR THE INSTALLATION OF THE WOOD I BEAMS SHALL BE PROVIDED; RIM BOARDS, BLOCKING, BACKER BLOCKS, BRIDGING ETC.



PLAN REVIEW		
REVIEWING	SIGNATURE	DATE
	SIGNATURE	DATE
	SIGNATURE	DATE
	SIGNATURE	DATE
FIRE ZONING	SIGNATURE	DATE
	SIGNATURE	DATE
	SIGNATURE	DATE
	SIGNATURE	DATE

TYPICAL WALL SECTION 1/2" = 1'

PROJECT:	
ADDITION FOR: <u>KAPTURKIEWICZ</u> 25 CEDAR STREET OAKLAND, NJ	
ROBERT MURPHY ARCHITECT 13 BRADRIK LA. W. MILFORD NEW JERSEY (201) 207 5537	
DWG. TITLE: <u>NOTES, SECTION</u>	
SHEET No.	DRAWN: <u>RM</u>
	DATE: <u>10-22-19</u>
	SCALE: <u>AS NOTED</u>
	4 OF 5



PLAN RELEASE	
BUILDING	SIGNATURE _____ DATE _____
ELECTRICAL	SIGNATURE _____ DATE _____
PLUMBING	SIGNATURE _____ DATE _____
ME	SIGNATURE _____ DATE _____
ZONING	SIGNATURE _____ DATE _____

PROJECT:	
<u>ADDITION FOR:</u>	
<u>KAPTURKIEWICZ</u>	
25 CEDAR STREET	
OAKLAND, NJ	
ROBERT MURPHY ARCHITECT	
13 BRADRICK LA. W. MILFORD NEW JERSEY (201) 207 5537	
DWG. TITLE:	
<u>SITE PLAN</u>	
SHEET No.	DRAWN: RM
A5	DATE: 10-22-19
	SCALE: AS NOTED
	5 OF 5



## PROCEDURAL CHECKLIST FOR VARIANCE APPLICATIONS

(Application to be typed or printed clearly please)

- ☒ 1. Apply to Zoning Officer for a permit for a use or structure not permitted by the zoning ordinance. A letter of denial will be issued and signed by the Zoning Officer citing the reasons for the denial of a building permit or certificate of occupancy.
- ☒ 2. Secure a copy of the application form from the Board Secretary. Applications must be filed within twenty (20) days of the issuance of denial from the Zoning Officer.
- ☒ 3. Plans and survey must be prepared and certified by a licensed land surveyor, architect or engineer. Plans must be drawn to scale indicating the relation of existing and/or the proposed structure with structures on all adjoining properties and a scale drawing of existing and/or proposed structures indicating changes or alterations contemplated. Please specify the location of all wells, septic systems, or sewer lines on plans. Submitted plans must show floor plan (footprint) of all levels and elevations.
- ☒ 4. Submit 16 copies of completed application (signed and notarized), 16 copies of Zoning Officer's denial letter, 16 copies folded plans and 16 copies of most recent sealed survey of the property. All copies mentioned must be in packet form and submitted to the Board Secretary. *1 original, PLUS pdf via email (18 total)* *Planning@Oakland-nj.org. (Marella)*
- ☒ 5. Two separate checks for the application fees and escrow fees made out to the Borough of Oakland.
- ☐ 6. A hearing date will be assigned upon the receipt of a completed application, review process and appropriate fees. The Board of Adjustment regularly meets on the second Tuesday of each month at 8:00 p.m. in the Oakland Council Chambers, 10 Lawlor Drive, Oakland, New Jersey.
- ☐ 7. Obtain a list of all property owners within 200-feet of the property in question from the Tax Assessor's office after variance application has been filed with the Board Secretary and a meeting date has been assigned.
- ☐ 8. Once a hearing date has been assigned and a 200-foot property owner list has been obtained, send notice of appeal to property owners within 200-feet. Sample forms are a part of your application package given by the Board Secretary. Notice must be served to all property owners in adjoining municipalities, if applicable. In such cases, notice must be served to the Municipal Clerk of that Borough. Every Notice must be served no less than 10 days prior to hearing date by certified mail or in person. If noticing in person, the applicant must have each property owner print name and address, sign and date a copy of the notice that they have been informed. Notice is to be placed in the official newspaper of the Borough (The Record) no less than 10 days prior to the hearing date.
- ☐ 9. Upon the completion of service to all applicable property owners, the notice must be sworn before a notary by the person making the service. Proof of service must be given to the Board Secretary prior to the hearing date, which should include, copy of the letter served to property owners, affidavit from the official newspaper and white postal receipts with date of mailing stamped by the post office.
- ☐ 10. Appear at public hearing in person, by agent or attorney. All Corporations must be represented by an attorney at all Board hearings.

App Fee  
\$275

Initial Escrow  
\$1,000.

200<sup>+</sup> POL  
\$10.00.

Important:

In order to expedite the processing of your application the applicant should comply with the above instructions. The Board can take no action until the above requirements are fully complied with and if unable to act within 90 days from the date of application, the Board will be deemed by law to have decided adversely to the application. The action taken by the Board will be advertised in the official newspaper as soon as possible after the hearing. Decisions of the Board will be mailed to the applicant or applicant's attorney as soon as possible but not later than 30 days thereafter. The building inspector must receive a copy of the resolution of approval before he can issue a building permit or certificate of occupancy.

Any questions regarding the application or filing requirements should be directed to the Board Secretary at 201-337-8538.

PLEASE NOTE: The area where the variance is requested must be staked out so that the Board member can see where application is proposed upon their site inspections.



## BOROUGH OF OAKLAND, NEW JERSEY

TO: Board of Adjustment

FROM: Glen Turi

This is to advise you that on March 29, 2021 a denial was issued to the resident ~~Ashley Kapturkiewicz~~ *wieslawa* for the location 25 Cedar Street, Oakland, NJ 07436

Block: 4504

Lot: 42

Zoning District: RA-3

For: New front steps and side steps

For the following reasons:

- 1) Side Yard: unknown proposed, 15 feet minimum required
- 2) Front Yard: unknown proposed, 40 feet minimum required

The Ordinances pertaining to this application are:

Chapter 59

Attachment 6

Fee: \$50.00 Paid by: # 203

LOD: #Z-0329003

An appeal to the Board of Adjustment of the determination must be made within twenty (20) days of the date of this determination.

  
\_\_\_\_\_  
Glen Turi  
Zoning Official



**BOROUGH OF OAKLAND  
BERGEN COUNTY, NEW JERSEY**

**APPLICATION FOR RESIDENTIAL VARIANCE FROM  
LOT AREA AND SETBACK REQUIREMENTS**

Date 4/13/21

**NOTE: APPLICATION SETS MUST BE COLLATED AND  
SUBMITTED IN PACKET FORM FOR PROCESSING.**

Date Received \_\_\_\_\_  
Fee Submitted \_\_\_\_\_  
Jurisdiction Date \_\_\_\_\_  
Complete Date \_\_\_\_\_  
Date by \_\_\_\_\_  
Board Action \_\_\_\_\_

**FOR OFFICIAL USE ONLY**

The undersigned, as Applicant/Owner of the subject property listed below hereby makes application to the Borough of Oakland Board of Adjustment for relief from residential zone requirements relating to lot area or setback requirements of the Borough Zoning Ordinance pursuant to N.J.S.A. 40:55D-70 C (1) or C (2) and applicable laws of the Borough of Oakland in order to: (briefly describe proposal)

New front and side steps

**1. APPLICANT INFORMATION**

- a. Name: Ashley Kapturkiewicz
- b. Address: 3 Martin Road Ossining, NY 10562
- c. Telephone (include fax number if desired): 201 395 1302
- d. Applicant is a: (check applicable status)  
☐ Corporation ☐ Partnership ☒ Individual(s)
- e. If applicant is a corporation or a partnership, please list the names and addresses of persons having a 10 % interest or more in the corporation or partnership on a separate sheet and attach to this application.
- f. Relationship of applicant to property (check applicable status):  
☐ Owner ☐ Purchaser under contract ☐ Lessee  
☒ Other (please specify): Owner's daughter
- g. If applicant is represented by an attorney:  
Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_

2. PROPERTY INFORMATION

- a. Street address 25 Cedar Street
- b. Tax Map Block(s) 4504 Lot(s) 42
- c. Zone District RA-3
- d. Lot Area 9252 sf Lot Dimensions 38.97 ft x 125 ft x 100 ft x 147.54
- e. Property is located (check applicable status):

☐ Within 200 feet of another municipality. ☐ Adjacent to a State Highway.

☐ Adjacent to an existing or proposed County road. ☐ Adjacent to other County land

**Note: If any category is checked, notification concerning this application to the appropriate agency is required.**

- f. Property is sewerer ☐ Septic system ☒
- g. Current number of bedrooms 3 Proposed number of bedrooms 3
- h. Current number of bathrooms 1 Proposed number of bathrooms 1
- i. Height of building: Existing Stories 1 Feet 14.75
- Proposed Stories 1 Feet 14.75
- j. Percentage of lot occupied by building:
- Now: 13.69 % With proposed addition: 13.85 %
- k. Setback from property lines:

	Front	Rear	Right Side	Left Side
a. Existing:	<u>40 ft</u>	<u>58.2 ft</u>	<u>1.04 ft</u>	<u>7.08 ft</u>
b. Proposed:	<u>37 ft</u>	<u>58.2 ft</u>	<u>2.62 ft</u>	<u>7.08 ft</u>

- l. Please list prior applications or municipal actions regarding this property:

\_\_\_\_\_  
\_\_\_\_\_

3. NATURE OF APPLICATION: This is an application for a variance from the strict application of the Borough of Oakland Zoning Ordinance for a use permitted in the Zone in which the property is located. The proposed construction is contrary to the following provisions of the Zoning Code of the Borough (the Zoning Officer should be consulted to determine the appropriate sections) You may attach additional sheets if needed.

Relief Requested:

<u>Section</u>	<u>Required</u>	<u>Proposed</u>
Ch. 59 attachment 6	40 ft	37 ft
Ch. 59 attachment 6	15 ft	2.62 ft
_____	_____	_____
_____	_____	_____

4. REASONS FOR REQUEST IN SUPPORT OF THIS APPLICATION

This variance is sought because of (check applicable):

- (a) ☒ Exceptional narrowness of property. (b) ☐ Exceptional shallowness of property.  
 (c) ☐ Shape of property. (d) ☐ Exceptional topographic or physical features of the site.  
 (e) ☒ Other extraordinary or exceptional situation.

Describe property features or situation if items (d) or (e) are checked. You may attach additional information if desired to support your application.

Existing side steps have crumbled and are not safe to walk on. One of the residents has mobility issues as a result of alzheimers and cannot safely navigate the temporary wood front steps without assistance as the front steps are often unstable and in need of repair

5. OTHER REQUIRED INFORMATION

- a. Attach certification of payment of taxes from Tax Collector.  
 b. Attach completed checklist.  
 c. Attach current survey showing existing & proposed improvements and septic system if applicable.

6. VERIFICATION AND AUTHORIZATION

- a. Applicant's Statement: I hereby certify that the above statements made by me and the statements and information contained in the papers submitted in connection with this application are, to the best of my knowledge, true and accurate.

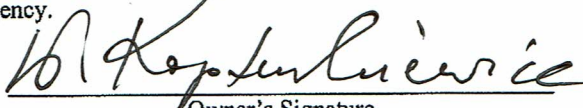
  
Applicant's Signature

4/13/21  
Date

\_\_\_\_\_  
Applicant's Signature

\_\_\_\_\_  
Date

- b. Owner's Statement: I, the undersigned, being the owner of the property described in this application, hereby consent to the making of this application and the approval of the plans submitted. I further consent to the inspection of this property in connection with this application as deemed necessary by the municipal agency.

  
Owner's Signature

4/13/21  
Date

Subscribed and sworn to before me this

13<sup>th</sup> day of April, 2021 (Year)

Leah P. Fonseca  
(Notary)

LEAH P. FONSECA  
NOTARY PUBLIC STATE OF NEW YORK  
NO 01MA5041056 QUALIFIED IN WESTCHESTER COUNTY  
CERTIFICATE FILED IN NEW YORK COUNTY  
COMMISSION EXPIRES

MARCH 27, 2023



### ZONING TABLE

*This MUST be completely filled out in order for your application to be deemed complete*  
 ZONE OF SUBJECT PROPERTY: RA-3

	REQUIRED	EXISTING	PROPOSED
Lot Area	<u>15000</u> sf min	<u>9252</u> sf	<u>9252</u> sf
Lot Width	<u>100</u> ft min	<u>110</u> ft	<u>110</u> ft
Lot Depth	<u>140</u> ft min	<u>125</u> ft	<u>125</u> ft
Building Coverage* (calculated: total building footprint square footage divided by lot area x 100%)	<u>20</u> % max	<u>13.69</u> %	<u>13.85</u> %
Impervious Coverage** (calculated: total impervious footprint square footage divided by lot area x 100%)	<u>40</u> % max	<u>25.5</u> %	<u>25.6</u> %
Front Setback	<u>40</u> ft min	<u>40</u> ft	<u>37</u> ft
Side Setback	<u>15</u> ft min	<u>7.08</u> ft (Left) <u>1.04</u> ft (Right)	<u>7.08</u> ft (Left) <u>2.62</u> ft (Right)
Rear Setback	<u>35</u> ft min	<u>58.2</u> ft	<u>58.2</u> ft
Building Height	<u>35</u> ft max <u>2 1/2</u> stories max	<u>14.75</u> ft <u>1</u> stories	<u>14.75</u> ft <u>1</u> stories

\*Building Coverage: that percentage of a lot covered by the roof(s) of all principal and accessory building(s), including roofed over porches and similar extensions of a building such as roofed decks.

\*\*Impervious Surfaces: surfaces covered by roofs, pavement, walks, patios, and other materials so that underlying soils are highly resistant to infiltration of water. This includes all buildings, porous paving, paver blocks, gravel, crushed stone, decks, patios, elevated structures, and other similar structures, surfaces, or improvements.