

**BOROUGH OF OAKLAND
BERGEN COUNTY, NEW JERSEY**

**APPLICATION FOR RESIDENTIAL VARIANCE FROM
LOT AREA AND SETBACK REQUIREMENTS**

Date 4/13/23

**NOTE: APPLICATION SETS MUST BE COLLATED AND
SUBMITTED IN PACKET FORM FOR PROCESSESSING.**

Date Received _____
Fee Submitted _____
Jurisdiction Date _____
Complete Date _____
Date by _____
Board Action _____

FOR OFFICIAL USE ONLY

Check nature of the application:

- ☐ Appeal interpretation of Building Inspector. (Type A)
☒ Bulk variance, requesting relief from dimensional zoning code requirement (Type C).
☐ Use variance from zoning code permitted uses. (Type D)

The undersigned, as Applicant/Owner of the subject property listed below hereby makes application to the Borough of Oakland Board of Adjustment for relief from residential zone requirements relating to lot area or setback requirements of the Borough Zoning Ordinance pursuant to N.J.S.A. 40:55D-70 C (1) or C (2) and applicable laws of the Borough of Oakland in order to: (briefly describe proposal)

2nd floor addition

1. APPLICANT INFORMATION

- a. Name: Joseph + Alyssa Manfredonia
- b. Address: 86 Oneida Ave, Oakland
- c. Telephone & Email address (include fax number if desired):
201-476-3083 JManfredonia@yahoo.com
- d. Applicant is a: (check applicable status)
____ Corporation ____ Partnership ____ LLC ☒ Individual(s)
- e. If applicant is a corporation or a partnership, please list the names and addresses of persons having a 10 % interest or more in the corporation or partnership on a separate sheet and attach to this application.
- f. Relationship of applicant to property (check applicable status):
☒ Owner ____ Purchaser under contract ____ Lessee
____ Other (please specify): _____

g. If applicant is represented by an attorney:

Name: _____

Address: _____

Telephone: _____ Fax: _____

2. PROPERTY INFORMATION

a. Street address 86 Onida Ave, Oakland

b. Tax Map Block(s) 5102 Lot(s) 23

c. Zone District RA-3

d. Lot Area 15,775 s.f. Lot Dimensions 60' x 263'

e. Has present or previous owner or applicant held title to or held any interest in
Adjoining property at any time? Yes _____ No ☒ If yes, explain nature of
interest. _____

f. Lot length & width: 263' x 60' Interior of corner lot? _____

g. Number of Streets the lot has frontage on: 1 Lot square foot area: 15,775 s.f.

h. Property is located (check applicable status):

____ Within 200 feet of another municipality

____ Adjacent to a State Highway

____ Adjacent to an Existing or proposed County road

____ Adjacent to other County land

Note: If any category is checked, notification concerning this application to the appropriate agency is required.

i. Property is sewer No Septic system yes

j. Current number of bedrooms 3 Proposed number of bedrooms 3

k. Current number of bathrooms 2 Proposed number of bathrooms 3

l. Height of building: Existing Stories 1 1/2 Feet _____
Proposed Stories 2 Feet 33'-7"

m. Percentage of lot occupied by building:

Now: 9 % With proposed addition: 9 %

n. Setback from property lines:

| | Front | Rear | Right Side | Left Side |
|--------------|---------------|-------------|--------------|-------------|
| a. Existing: | <u>31.42'</u> | <u>193'</u> | <u>8.21'</u> | <u>6.5'</u> |

b. Proposed: 29.8' 193' 8.21' 6.5'

c. Please list prior applications or municipal actions regarding this property:

Zoning application denial

3. **NATURE OF APPLICATION:** This is an application for a variance from the strict application of the Borough of Oakland Zoning Ordinance for a use permitted in the Zone in which the property is located. The proposed construction is contrary to the following provisions of the Zoning Code of the Borough (the Zoning Officer should be consulted to determine the appropriate sections) You may attach additional sheets if needed.

Relief Requested:

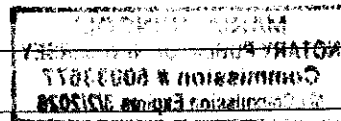
| <u>Section</u> | <u>Required</u> | <u>Proposed</u> |
|---------------------------|-----------------|-----------------|
| <u>Front Yard Setback</u> | <u>40'</u> | <u>29.8'</u> |
| <u>Side Yard Setback</u> | <u>15'</u> | <u>6.5'</u> |
| <u>Side yard Setback</u> | <u>15'</u> | <u>8.21'</u> |

4. **REASONS FOR REQUEST IN SUPPORT OF THIS APPLICATION**

This variance is sought because of (check applicable):

- (a) ☒ Exceptional narrowness of property. (b) ☒ Exceptional shallowness of property.
(c) ☐ Shape of property. (d) ☐ Exceptional topographic or physical features of the site.
(e) ☐ Other extraordinary or exceptional situation.

Describe property features or situation if items (d) or (e) are checked. You may attach additional information if desired to support your application.



5. **OTHER REQUIRED INFORMATION**

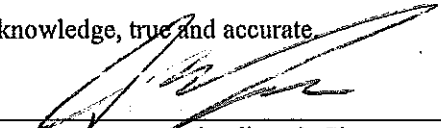
Attach certification of payment of taxes from Tax Collector.

Attach completed checklist.

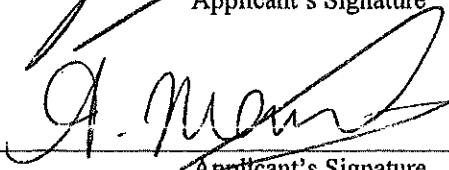
Attach current survey showing existing & proposed improvements and septic system if applicable. Refer to item #3 on checklist.

6. VERIFICATION AND AUTHORIZATION

Applicant's Statement: I hereby certify that the above statements made by me and the statements and information contained in the papers submitted in connection with this application are, to the best of my knowledge, true and accurate.



Applicant's Signature

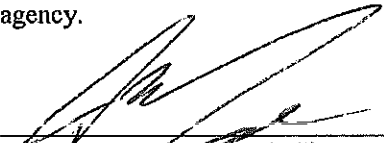


Applicant's Signature

4/13/23
Date

4/13/2023
Date

Owner's Statement: I, the undersigned, being the owner of the property described in this application, hereby consent to the making of this application and the approval of the plans submitted. I further consent to the inspection of this property in connection with this application as deemed necessary by the municipal agency.



Owner's Signature

4/13/23
Date

Subscriber and sworn to before me this
13th day of April, 2023 (Year)

Maria Crincoli

(Notary)



ZONING TABLE

This **MUST** be completely filled out in order for your application to be deemed complete
 ZONE OF SUBJECT PROPERTY: RA-3

| | REQUIRED | EXISTING | PROPOSED |
|---|--|--|--|
| Lot Area | <u>15,000</u> sf min | <u>15,775</u> sf | <u>15,775</u> sf |
| Lot Width | <u>100</u> ft min | <u>60</u> ft | <u>60</u> ft |
| Lot Depth | <u>140</u> ft min | <u>263</u> ft | <u>263</u> ft |
| Building Coverage* (calculated: total building footprint square footage divided by lot area x 100%) | <u>20</u> % max | <u>9</u> % | <u>9</u> % |
| Impervious Coverage** (calculated: total impervious footprint square footage divided by lot area x 100%) | <u>40</u> % max | <u>14</u> % | <u>14</u> % |
| Front Setback | <u>40</u> ft min | <u>31.4</u> ft | <u>29.8</u> ft |
| Side Setback | <u>15</u> ft min | <u>6.5</u> ft (Left) <u>8.21</u> ft (Right) | <u>6.5</u> ft (Left) <u>8.21</u> ft (Right) |
| Rear Setback | <u>35</u> ft min | <u>193</u> ft | <u>193</u> ft |
| Building Height | <u>35</u> ft max <u>2 1/2</u> stories max | <u> </u> ft <u>1 1/2</u> stories | <u>33.7</u> ft <u>2</u> stories |

*Building Coverage: that percentage of a lot covered by the roof(s) of all principal and accessory building(s), including roofed over porches and similar extensions of a building such as roofed decks.

**Impervious Surfaces: surfaces covered by roofs, pavement, walks, patios, and other materials so that underlying soils are highly resistant to infiltration of water. This includes all buildings, porous paving, paver blocks, gravel, crushed stone, decks, patios, elevated structures, and other similar structures, surfaces, or improvements.

April 13, 2023
03:04 PM

BOROUGH OF OAKLAND
Tax Account Detail Inquiry

Page No: 1

BLQ: 5102. 23. Tax Year: 2023 to 2023
Owner Name: MANFREDONIA, JOSEPH & COLEMAN, ALYSSA Property Location: 86 ONEIDA AVE

| Tax Year: 2023 | Qtr 1 | Qtr 2 | Qtr 3 | Qtr 4 | Total |
|------------------|----------|----------|-------|-------|----------|
| Original Billed: | 2,892.38 | 2,892.37 | 0.00 | 0.00 | 5,784.75 |
| Payments: | 2,892.38 | 0.00 | 0.00 | 0.00 | 2,892.38 |
| Balance: | 0.00 | 2,892.37 | 0.00 | 0.00 | 2,892.37 |

| Date | Qtr | Type | Code | Check No | Mthd | Reference | Batch Id | Principal | Interest | 2023 Prin Balance |
|----------|-----|------------------|------|----------|------|------------|----------|-----------|----------|-------------------|
| | | Description | | | | | | 5,784.75 | | 5,784.75 |
| 02/02/23 | 1 | Original Billed | | | | | | | | |
| | | Payment | 001 | WIRE | CK | 22954 1626 | CORELOGC | 2,892.38 | 0.00 | 2,892.37 |
| | | CORELOGIC 2023.1 | | | | | | | | |

Total Principal Balance for Tax Years in Range: 2,892.37



BOROUGH OF OAKLAND, NEW JERSEY

TO: Planning Board

FROM: Glen Turi

This is to advise you that on April 4, 2023 a denial was issued to the resident Joseph Manfredonia for the location 86 Oneida Avenue, Oakland, NJ 07436

Block: 5102 Lot: 23

Zoning District: RA-3

For: Addition

For the following reasons:59-Attachement 5

- 1) Front Yard Setback: Minimum 40 Feet, Proposed 29.8 Feet
- 2) Side Yard Setback: Minimum 15 Feet, Proposed 6.5 Feet
- 3) Side Yard Setback: Minimum 15 Feet, Proposed 8.21 Feet

The Ordinances pertaining to this application are:

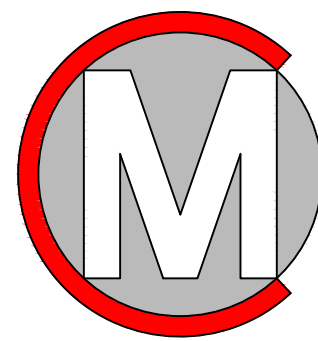
Chapter 59-Attachment 6

Fee: \$50.00 Paid by: # Check #104 LOD: #Z-03140001

An appeal to the Board of Adjustment of the determination must be made within twenty (20) days of the date of this determination.



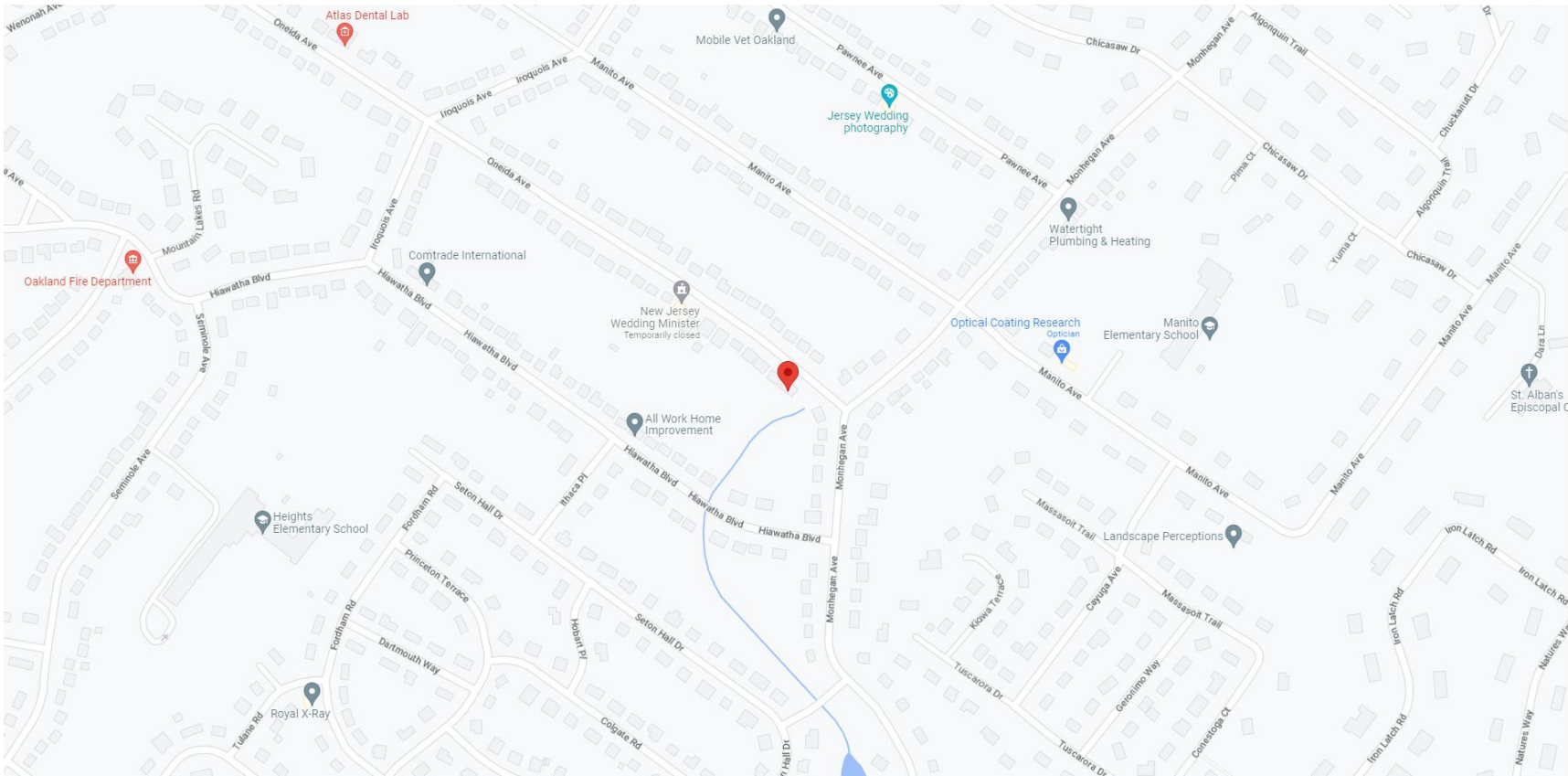
Glen Turi
Zoning Official



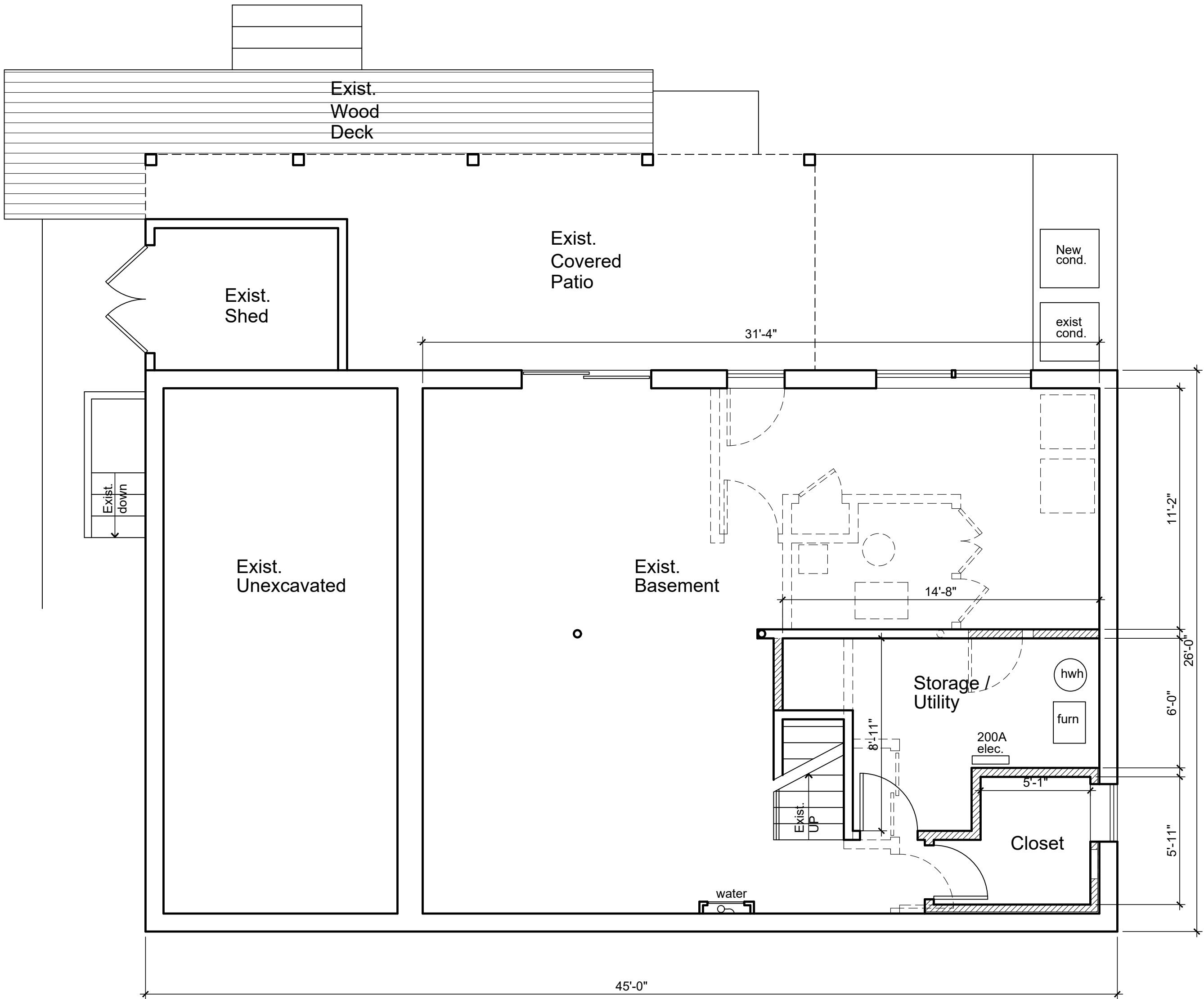
Michael CapoAIA Architect LLC
12 Brookhill Terrace
Clifton, New Jersey 07013
973.460.1168
Mikecapo12573@gmail.com

Michael Capo

Michael Capo, AIA
New Jersey License No. 21AI02153600



Project Location Map



Basement Plan

Not to scale

Legend

- Existing construction to remain
- Existing construction to be removed
- New construction



Site Plan

Scale: 1" = 20'-0"

Note

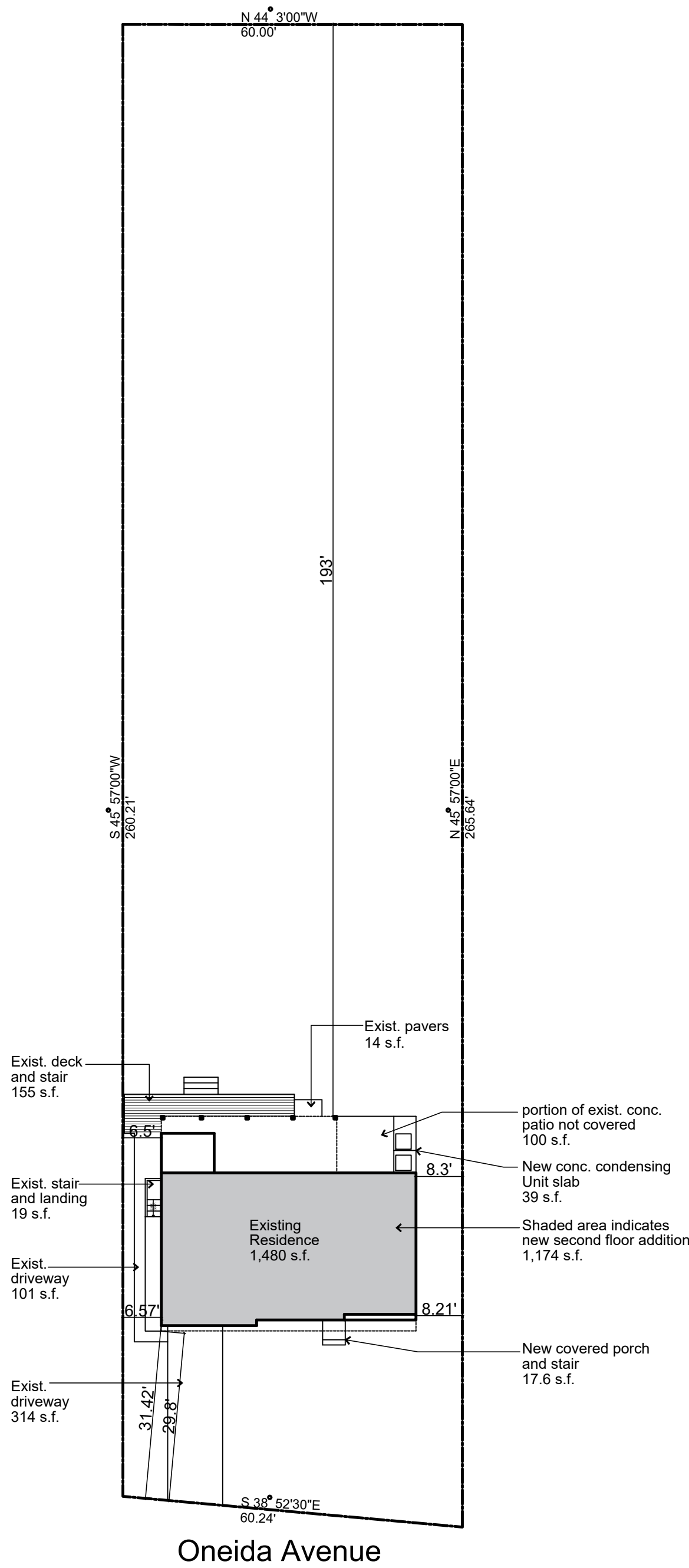
This drawing is not a survey. All information was taken from a survey prepared by GB Engineering, LLC

Zoning Summary

Zone - R-A3

| | Code | Existing | Provided |
|--------------------------|------------------------|------------------------|------------------------|
| Min. Lot Area | 15,000 s.f. | 15,775 s.f. | 15,775 s.f. |
| * Min. Lot width | 100' | 60' | 60' |
| Min. Lot depth | 140' | 263' | 263' |
| ** Front Yard Setback | 40' | 31.42' | 29.8' |
| Rear Yard Setback | 35' | 193' | 193' |
| ** Side Yard Setback | 15' | 6.5' left, 8.21' right | 6.5' left, 8.21' right |
| Max. bldg. coverage | 20% | 1,480 / 15,775 = 9% | 1,480 / 15,775 = 9% |
| Max. impervious coverage | 40% | 2,239.6 / 15,775 = 14% | 2,239.6 / 15,775 = 14% |
| Max. building height | 2 1/2 stories - 35'-0" | 1 1/2 stories | 2 stories, 33'-7" |

* Indicates existing non-conforming
** Indicates variance requested



| | | |
|-----|--------|-------------------|
| 1 | 3-9-23 | Issued for review |
| No. | Date | Description |

Print Issue

Project,

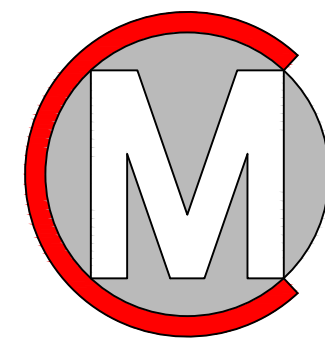
Addition and Renovation

86 Oneida Avenue

Lot 23, Block 5102
86 Oneida Avenue
Oakland, New Jersey

Floor Plans

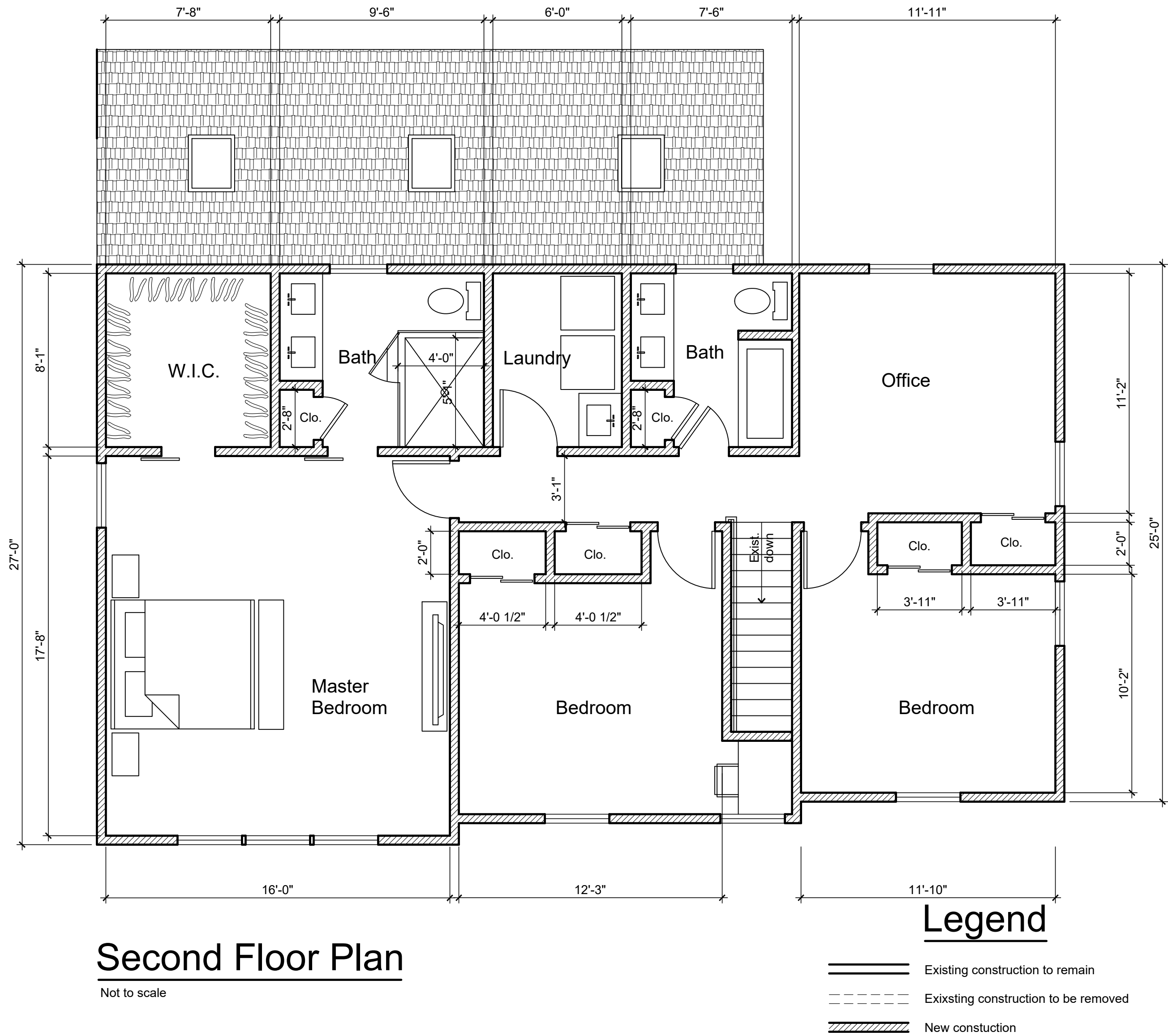
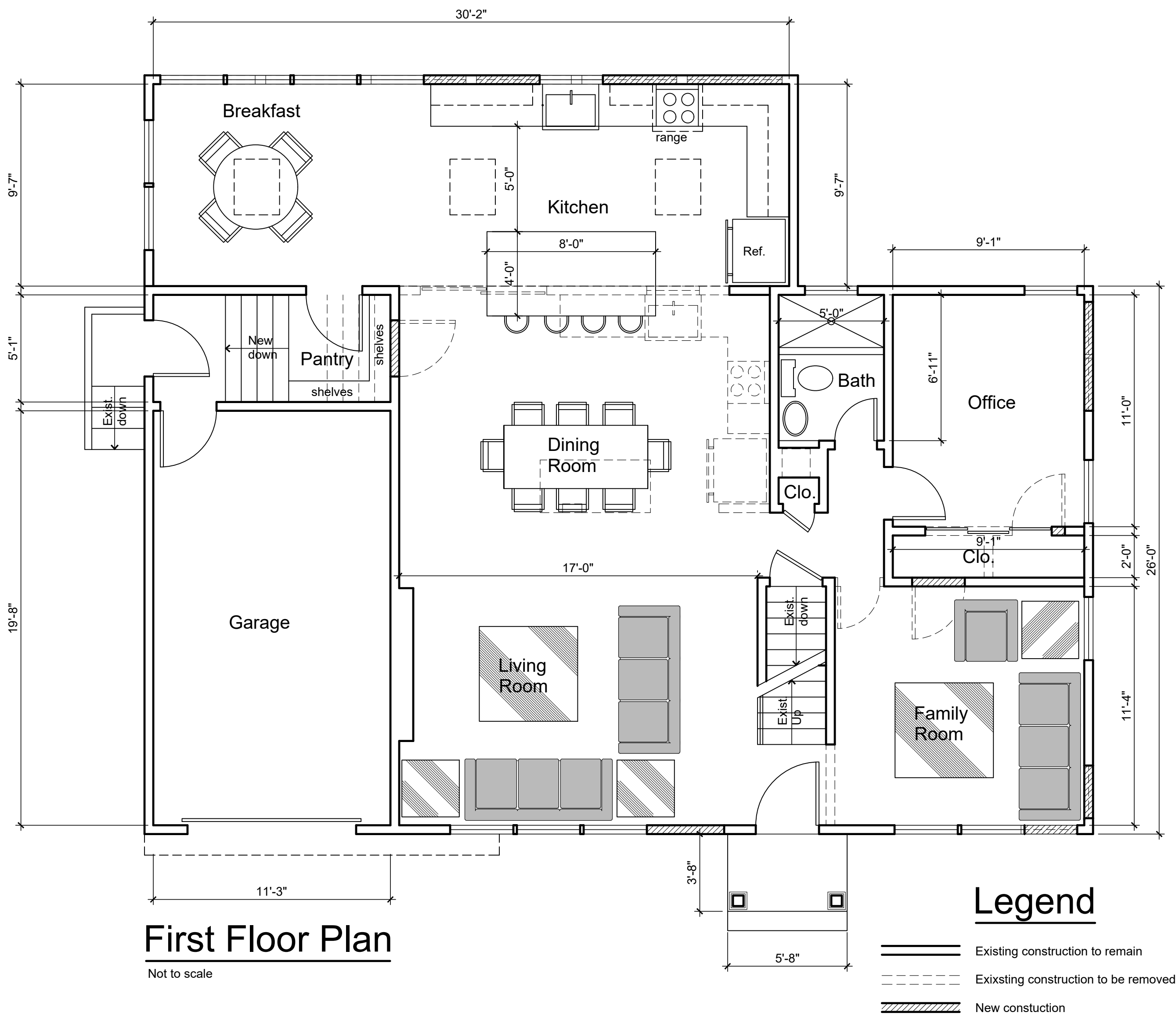
Scale
as noted
Project No.
23-207
Drawn
MC



Michael CapoAIA Architect LLC
12 Brookhill Terrace
Clifton, New Jersey 07013
973.460.1168
Mikecapo12573@gmail.com

Michael Capo

Michael Capo, AIA
New Jersey License No. 21AI02153600



| | | |
|-----|--------|-------------------|
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Print Issue

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Addition and Renovation

86 Oneida Avenue

Lot 23, Block 5102
86 Oneida Avenue
Oakland, New Jersey

Floor Plans

Scale
as noted
Project No.
23-207
Drawn
MC

A2
of 3



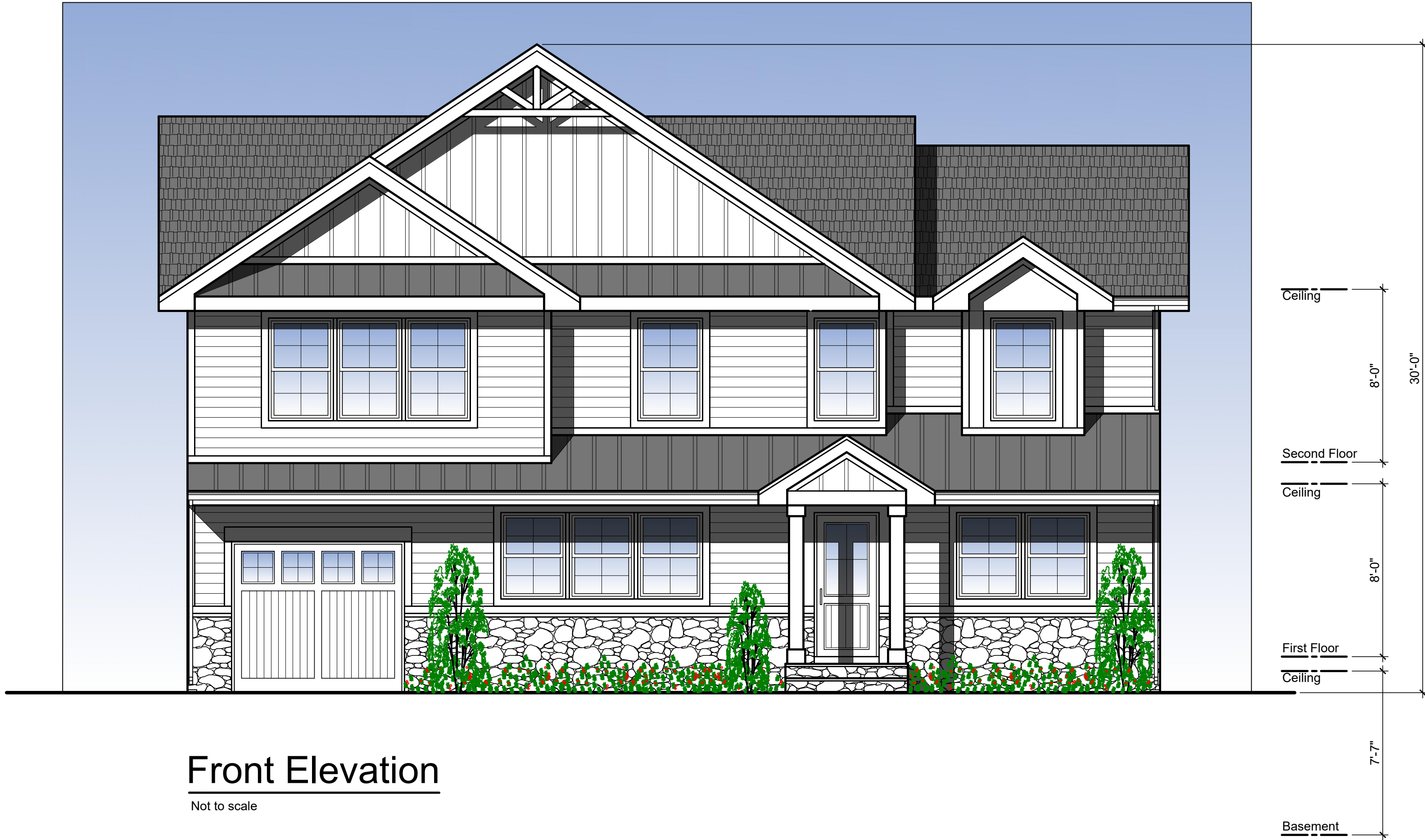
Rear Elevation

Not to scale



Left Side Elevation

Not to scale



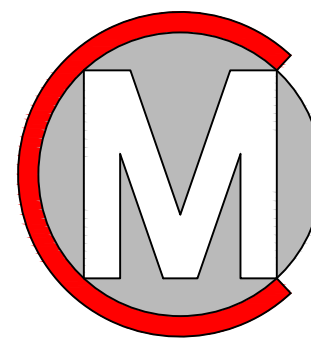
Front Elevation

Not to scale



Right Side Elevation

Not to scale



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| | | |
|-----|--------|-------------------|
| 1 | 3-9-23 | Issued for review |
| No. | Date | Description |

Print Issue

Project,

Addition and Renovation

86 Oneida Avenue

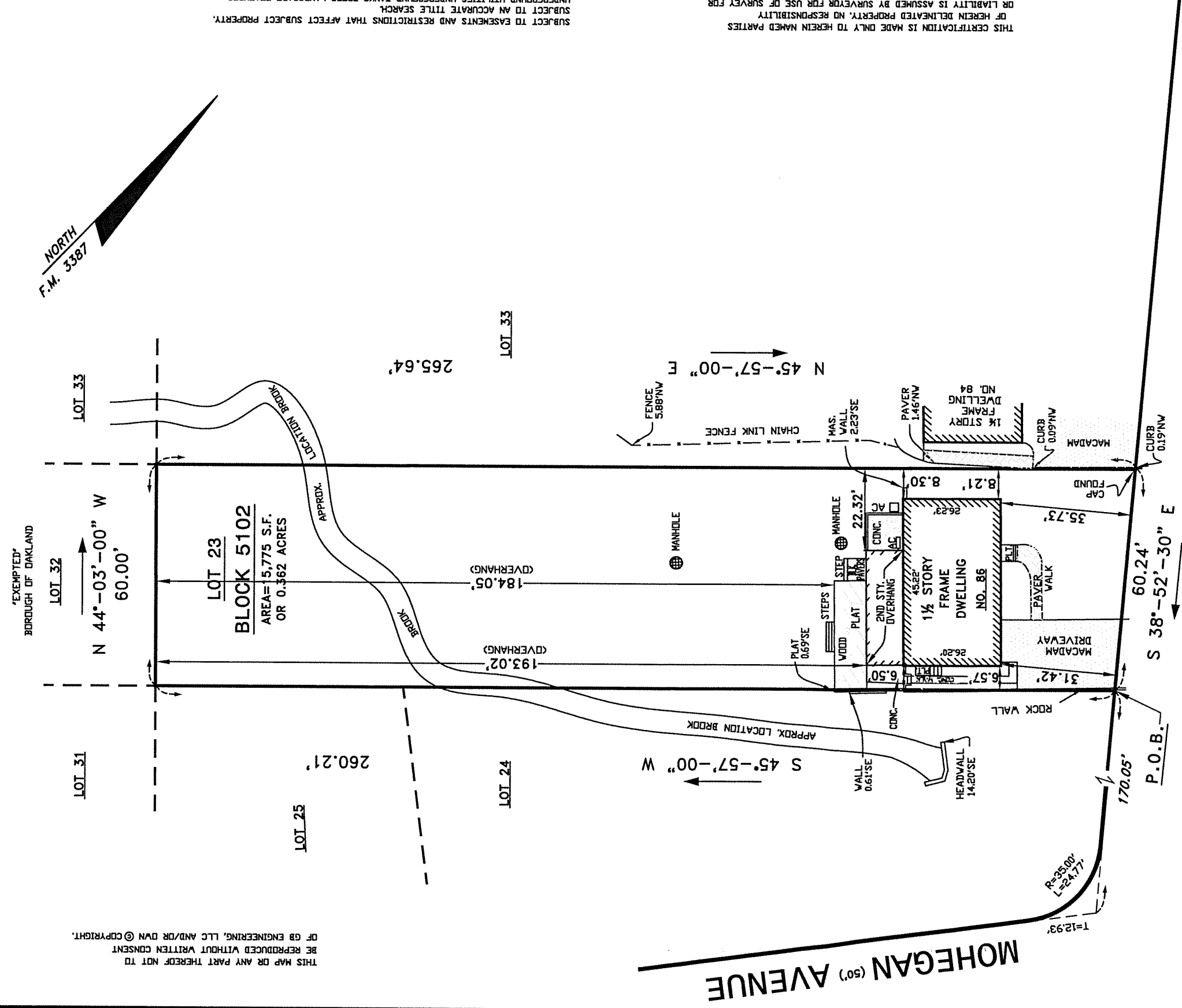
Lot 23, Block 5102
86 Oneida Avenue
Oakland, New Jersey

Elevations

Scale
as noted
Project No.
23-207
Drawn
MC

SUBJECT TO EASEMENTS AND RESTRICTIONS THAT AFFECT SUBJECT PROPERTY, UNDEGROUND UTILITIES-UNDEGROUND TANKS-TREES-LANDSCAPE FEATURES-HAZARDOUS WASTE-FRESHWATER WETLANDS-FLOOD-RIPARIAN DELINEATIONS, IF ANY, ARE NOT SHOWN HEREIN.

THIS CERTIFICATION IS MADE ONLY TO HEREIN NAMED PARTIES
OF HEREIN DELINEATED PROPERTY, NO RESPONSIBILITY
OR LIABILITY IS ASSUMED BY SURVEYOR FOR USE OF SURVEY FOR
ANY OTHER PURPOSE INCLUDING, BUT NOT LIMITED TO, USE OF SURVEY FOR SURVEY
CERTIFICATION, RESALE OF PROPERTY, OR TO ANY OTHER PERSON NOT LISTED IN



THIS BUILDING LOCATION SURVEY MADE FOR TITLE PURPOSES ONLY. ALTHOUGH ABSOLUTE, OFFSET DIMENSIONS ARE NOT TO BE USED FOR PERMANENT CONSTRUCTION.

GRAPHIC SCALE: 1"=20'



JOSEPH MANFREDONIA AND ALYSSA COLEMAN, BOTH UNMARRIED

MAP: BOROUGH OF OAKLAND TAX MAP AND A MAP ENTITLED:
'RAMAPO LAKES, SECTION 3', FILED IN THE
IN THE B.C.C.O. ON MAY 21, 1945 AS MAP NO. 3387.
DEED BOOK 1259, PAGE 536.

王少芳

THOMAS G. STEARNS III - LIC. NO. GB40959
N.J. PROFESSIONAL ENGINEER & LAND SURVEYOR

MAP OF PROPERTY FOR

JOSEPH MANFREDONIA AND ALYSSA COLEMAN, BOTH UNMARRIED

LOT: 23 T.M. 5102 T.M.
BLOCK: 31-A & 31-B F.M. 3527 F.M.

BOROUGH OF OAKLAND
BERGEN COUNTY, NEW JERSEY

GB ENGINEERING, LLC
ENGINEERS AND SURVEYORS

ENGINEERS AND SURVEYORS
144 JEWELL STREET GARFIELD, NEW JERSEY 07026

144 JEWELL STREET SANFIDEL, NEW JERSEY 07021
 EMAIL: GBSURVEYOR@AOL.COM
 TEL (973) 340-0948 FAX (973) 340-0015

1084/168 VDS

TITLE NO. 18-058841-LX

REVISÉ: 4/15/20-SET CORNERS

Work Order: 2023/0266

Work Order: 2023/0266