

**BOROUGH OF OAKLAND
BERGEN COUNTY, NEW JERSEY**

**APPLICATION FOR RESIDENTIAL VARIANCE FROM
LOT AREA AND SETBACK REQUIREMENTS**

Date 5/10/23

**NOTE: APPLICATION SETS MUST BE COLLATED AND
SUBMITTED IN PACKET FORM FOR PROCESSING.**

Date Received _____
Fee Submitted _____
Jurisdiction Date _____
Complete Date _____
Date by _____
Board Action _____

FOR OFFICIAL USE ONLY

Check nature of the application:

- ☐ Appeal interpretation of Building Inspector. (Type A)
☒ Bulk variance, requesting relief from dimensional zoning code requirement (Type C).
☐ Use variance from zoning code permitted uses. (Type D)

The undersigned, as Applicant/Owner of the subject property listed below hereby makes application to the Borough of Oakland Board of Adjustment for relief from residential zone requirements relating to lot area or setback requirements of the Borough Zoning Ordinance pursuant to N.J.S.A. 40:55D-70 C (1) or C (2) and applicable laws of the Borough of Oakland in order to: (briefly describe proposal)

Construct a second story addition to existing single-family dwelling.

I. APPLICANT INFORMATION

- a. Name: Stephen and Jennifer Mawhinney
- b. Address: 98 Grove Street, Oakland, NJ 07436
- c. Telephone & Email address (include fax number if desired):
201-757-3295, steve.jenni.mawhinney@gmail.com
- d. Applicant is a: (check applicable status)
 Corporation Partnership LLC x Individual(s)
- e. If applicant is a corporation or a partnership, please list the names and addresses of persons having a 10 % interest or more in the corporation or partnership on a separate sheet and attach to this application.
- f. Relationship of applicant to property (check applicable status):
 x Owner Purchaser under contract Lessee
 Other (please specify): _____

g. If applicant is represented by an attorney:

Name: _____

Address: _____

Telephone: _____ Fax: _____

2. PROPERTY INFORMATION

a. Street address **98 Grove Street, Oakland, NJ 07436**

b. Tax Map Block(s) **3401** Lot(s) **28**

c. Zone District **RA-3**

d. Lot Area **13,881 sq.ft** Lot Dimensions **159.72' x 100.11'**

e. Has present or previous owner or applicant held title to or held any interest in

Adjoining property at any time? Yes _____ No **x** If yes, explain nature of
interest. _____

f. Lot length & width: **159.72' x 100.11'** Interior of corner lot? **no**

g. Number of Streets the lot has frontage on: **1** Lot square foot area: **13,881 sq.ft**

h. Property is located (check applicable status):

____ Within 200 feet of another municipality

____ Adjacent to a State Highway

____ Adjacent to an Existing or proposed County road

____ Adjacent to other County land

Note: If any category is checked, notification concerning this application to the appropriate agency is required.

i. Property is sewerd _____ Septic system **x**

j. Current number of bedrooms **3** Proposed number of bedrooms **3**

k. Current number of bathrooms **1.5** Proposed number of bathrooms **3.5**

l. Height of building: Existing Stories **1.5** Feet **22**

Proposed Stories **2.5** Feet **35**

m. Percentage of lot occupied by building:

Now: **9.7** %

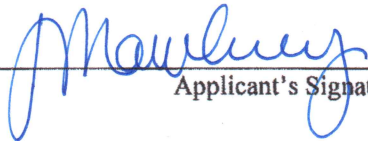
With proposed addition: **11.18** %

n. Setback from property lines:

	Front	Rear	Right Side	Left Side
a. Existing:	34'	103'	21.6'	17.3'

6. VERIFICATION AND AUTHORIZATION

Applicant's Statement: I hereby certify that the above statements made by me and the statements and information contained in the papers submitted in connection with this application are, to the best of my knowledge, true and accurate.


Applicant's Signature

5/10/23
Date


Applicant's Signature

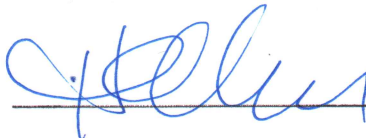
5/10/23
Date

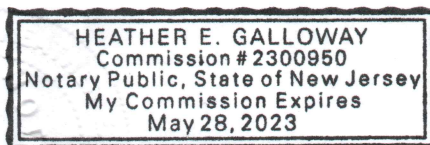
Owner's Statement: I, the undersigned, being the owner of the property described in this application, hereby consent to the making of this application and the approval of the plans submitted. I further consent to the inspection of this property in connection with this application as deemed necessary by the municipal agency.


Owner's Signature

5/10/23
Date

Subscriber and sworn to before me this
10th day of May, 2023 (Year)


(Notary)



ZONING TABLE

This MUST be completely filled out in order for your application to be deemed complete
 ZONE OF SUBJECT PROPERTY: RA-3

	REQUIRED	EXISTING	PROPOSED
Lot Area	<u>15,000</u> sf min	<u>13,881</u> sf	<u>13,881</u> sf
Lot Width	<u>100</u> ft min	<u>100.11</u> ft	<u>100.11</u> ft
Lot Depth	<u>140</u> ft min	<u>159.72</u> ft	<u>159.72</u> ft
Building Coverage* (calculated: total building footprint square footage divided by lot area x 100%)	<u>20</u> % max	<u>9.7</u> %	<u>11.18</u> %
Impervious Coverage** (calculated: total impervious footprint square footage divided by lot area x 100%)	<u>40</u> % max	<u>17.61</u> %	<u>19.07</u> %
Front Setback	<u>40</u> ft min	<u>34</u> ft	<u>32</u> ft
Side Setback	<u>15</u> ft min	<u>17.3</u> ft (Left) <u>21.6</u> ft (Right)	<u>17.3</u> ft (Left) <u>21.6</u> ft (Right)
Rear Setback	<u>35</u> ft min	<u>103</u> ft	<u>101</u> ft
Building Height	<u>35</u> ft max <u>2.5</u> stories max	<u>22</u> ft <u>1.5</u> stories	<u>35</u> ft <u>2.5</u> stories

*Building Coverage: that percentage of a lot covered by the roof(s) of all principal and accessory building(s), including roofed over porches and similar extensions of a building such as roofed decks.

**Impervious Surfaces: surfaces covered by roofs, pavement, walks, patios, and other materials so that underlying soils are highly resistant to infiltration of water. This includes all buildings, porous paving, paver blocks, gravel, crushed stone, decks, patios, elevated structures, and other similar structures, surfaces, or improvements.



BOROUGH OF OAKLAND, NEW JERSEY

TO: Planning Board

FROM: Glen Turi

This is to advise you that on April 25, 2023 a denial was issued to the resident Stephen Mawhinney & Jennifer Mawhinney for the location 98 Grove Street, Oakland, NJ 07436

Block: 3401 Lot: 28

Zoning District: RA-3

For: Addition

For the following reasons: 59-Attachement 5


- 1) Front Yard Setback: Minimum 40 Feet, Proposed 32 Feet

The Ordinances pertaining to this application are:

Chapter 59-Attachement 5

Fee: \$50.00 Paid by: # Check #1113 LOD: #Z-04250001

An appeal to the Board of Adjustment of the determination must be made within twenty (20) days of the date of this determination.


Glen Turi
Zoning Official

MAWHINNEY RESIDENCE

98 GROVE STREET

OAKLAND, NEW JERSEY

GENERAL NOTES

1) INFORMATION SHOWN IN THE DRAWINGS ARE GENERAL IN NATURE & REPRESENT AN OVERALL DESIGN CONCEPT. THEY ARE PREPARED WITH THE INTENT TO DEMONSTRATE THE OVERALL DESIGN ARRANGEMENT AND METHOD OF ASSEMBLY OF THE VARIOUS COMPONENTS. THE CONTRACTOR IS ASSUMED TO HAVE REVIEWED THESE PLANS, HAVING BEEN THE SUBJECT PROPERTY, AND IS CAPABLE OF EXECUTING THE DETAIL WORK NECESSARY TO ACHIEVE THE INTENDED RESULT. IN A MANNER CONSISTENT WITH QUALITY WORKMANSHIP WITHIN THE REGION. IT IS INCUMBENT UPON THE CONTRACTOR TO REPORT IN WRITING TO THE ARCHITECT PRIOR TO THE SUBMISSION OF BID, ANY QUESTIONABLE ERRORS OR OMISSIONS, INTENT OR METHOD OF CONSTRUCTION.

2) DO NOT SCALE DRAWINGS- USE DIMENSIONS ONLY. CHECK AND VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE PRIOR TO CONSTRUCTION. ANY DISCREPANCIES AND / OR OMISSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE SUBMISSION OF BIDS AND COMMENCEMENT OF WORK.

3) THE CONTRACTOR SHALL FILE FOR, OBTAIN, AND PAY FOR ALL PERMITS AND APPROVALS. NO WORK IS TO COMMENCE UNTIL ALL APPROVALS ARE OBTAINED AND ALL PERMITS HAVE BEEN SECURED.

4) ALL WORK SHALL COMPLY WITH THE "NEW JERSEY CONSTRUCTION CODE", "THE REGULATIONS OF THE NEW JERSEY CONSTRUCTION CODE", LOCAL ORDINANCES, AND UTILITY COMPANIES REGULATIONS, HAVING JURISDICTION.

5) ALL CONTRACTORS SHALL MAINTAIN CONTRACTORS LIABILITY PROPERTY DAMAGE INSURANCE, AND WORKMAN'S COMPENSATION INSURANCE. ALL OPERATIONS SHALL CONFORM TO ALL FEDERAL AND STATE SAFETY CODE REGULATIONS.

6) CONCRETE FOOTINGS AND SLABS, IF REQUIRED, SHALL HAVE MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 3,000 P.S.I. AFTER 28 DAYS.

7) ALL ELECTRIC WORK SHALL COMPLY WITH THE NATIONAL ELECTRIC CODE. CONTRACTOR SHALL CONNECT ALL APPLIANCES AND EQUIPMENT. PROVIDE CIRCUITING PER CODE TO WIRE ALL DEVICES SHOWN OR CODE REQUIRED.

8) ALL PLUMBING SHALL CONFORM TO THE NATIONAL STANDARD PLUMBING CODE.

9) HEAT AND AIR CONDITIONING SHALL BE PROVIDED BY CONTRACTOR.

10) ALL WORK SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF FINAL COMPLETION OF THE PROJECT.

11) THE CONTRACTOR SHALL MAINTAIN THE SITE IN A NEAT, CLEAN MANNER AT ALL TIMES. AT COMPLETION OF WORK, THE CONTRACTOR SHALL THOROUGHLY BROOM CLEAN BOTH INTERIOR AND EXTERIOR AREAS. THE PROPERTY SHALL BE RETURNED TO THE ORIGINAL CONDITION.

12) ALL CONSTRUCTION SHALL BE PREPARED AND FINISHED TO CONFORM TO BUILDING STANDARDS.

13) CONTRACTOR SHALL PATCH AND REPAIR AS NECESSARY ALL EXISTING AREAS AFFECTED BY DEMOLITION AND CONSTRUCTION AND SHALL PREPARE SAID AREAS FOR NEW FINISH AS REQUIRED.

14) CONTRACTOR SHALL BE RESPONSIBLE FOR PRESERVING THE INTEGRITY OF ALL FIRE RESISTANCE STRUCTURAL ELEMENTS. ANY VOIDS CREATED IN CEILINGS, FLOORS AND/OR WALLS ARE TO BE SAVED BY CONTRACTOR TO COMPLY WITH EXISTING CODES.

15) ALL NEW CONSTRUCTION AND EXISTING STRUCTURE TO REMAIN SHALL BE PREPARED AND FINISHED AS REQUIRED TO BUILDING STANDARD AND WHERE NEW WALL INCORPORATED ANY PORTION OF AN EXISTING WALL MATERIALS SHALL MATCH BOTH IN KIND AND THICKNESS AND SHALL BE FINISHED SMOOTH SO THAT NO SEAM OR PATCH IS VISIBLE.

16) CONTRACTOR SHALL COMPLY WITH SOIL EROSION CONTROL AGENCY REQUIREMENTS AND OBTAIN APPROVAL IF LOCALLY REQUIRED.

17) FRAMING LUMBER (JOIST, GIRDERS, RAFTERS, PLATES, STUDS, BILLS, HEADERS, TRIMMERS, RIDGES AND VALLEYS) SHALL BE DOUGLAS FIR 15% CONSTRUCTION GRADE NO. 1 15% CONSTRUCTION GRADE NO. 2 (EXTREME FIBER IN BENDING + 1450 P.S.I., MODULUS OF ELASTICITY + 1,700,000) SET ALL JOISTS AND GIRDERS WITH NATURAL CAMBER DOUBLE UP FLOOR JOISTS UNDER PARTITIONS RUNNING PARALLEL TO JOISTS AND UNDER TILE FLOORS. DOUBLE UP STUDS AT ALL OPENINGS, SUPPORT HEADERS ON STUDS. SUPPORT HEADERS LONGER THAN 1'-0" ON TWO STUDS EACH END, CUTTING NOTCHING AND DRILLING OF WOOD JOISTS SHALL BE PER "UCC REHAB" CODE. KEEP WOOD FRAMING MINIMUM 2" AWAY FROM FLUES, CHIMNEYS AND FIREPLACES. PROVIDE TWO ROUS SOLID BRIDGING AT FLOORS AND ATTIC CEILING FRAMING FOR EACH SPAN INCREMENT OF 8'-0". MINIMUM HEADROOM AT STAIRS 6'-8". ALL HEADERS OVER DOORS AND WINDOWS TO BE (2) 2" x 8" ON TWO STUDS ON EACH SIDE OF OPENING. ALL OPENINGS OVER 6'-0" WIDE SHALL HAVE (2) 2"x8" HEADER ON THREE STUDS EACH SIDE OF OPENING TYPICAL. ALL DOOR AND WINDOW HEADERS UNLESS OTHERWISE NOTED.

18) PROVIDE SMOKE DETECTORS USING AN AC PRIMARY SOURCE AS POWER SUPPLY, PER "UCC REHAB" CODE.

19) STRUCTURAL DESIGN LOADS:
ROOF RAFTERS + 30 LBS/LL + 10 LBS/LL + 40 LBS/LL
ATTIC FLOOR + 20 LBS/LL + 10 LBS/LL + 30 LBS/LL
2ND FLOOR + 30 LBS/LL + 15 LBS/LL + 45 LBS/LL
1ST FLOOR + 40 LBS/LL + 15 LBS/LL + 55 LBS/LL

20) ENERGY CODE COMPLIANCE:
THIS BUILDING COMPLIES WITH THE CODE
THE WINDOW AREA IS NOT MORE THAN 15% OF WALL AREA. THE WALLS HAVE A MINIMUM OF R-11 INSULATION. THE CEILINGS HAVE A MINIMUM OF R-15 INSULATION.

21) ATTIC SPACE SHALL BE VENTED WITH APPROVED VENTING. NET AREA OF 2,000 SQ. FT. x FLOOR AREA.

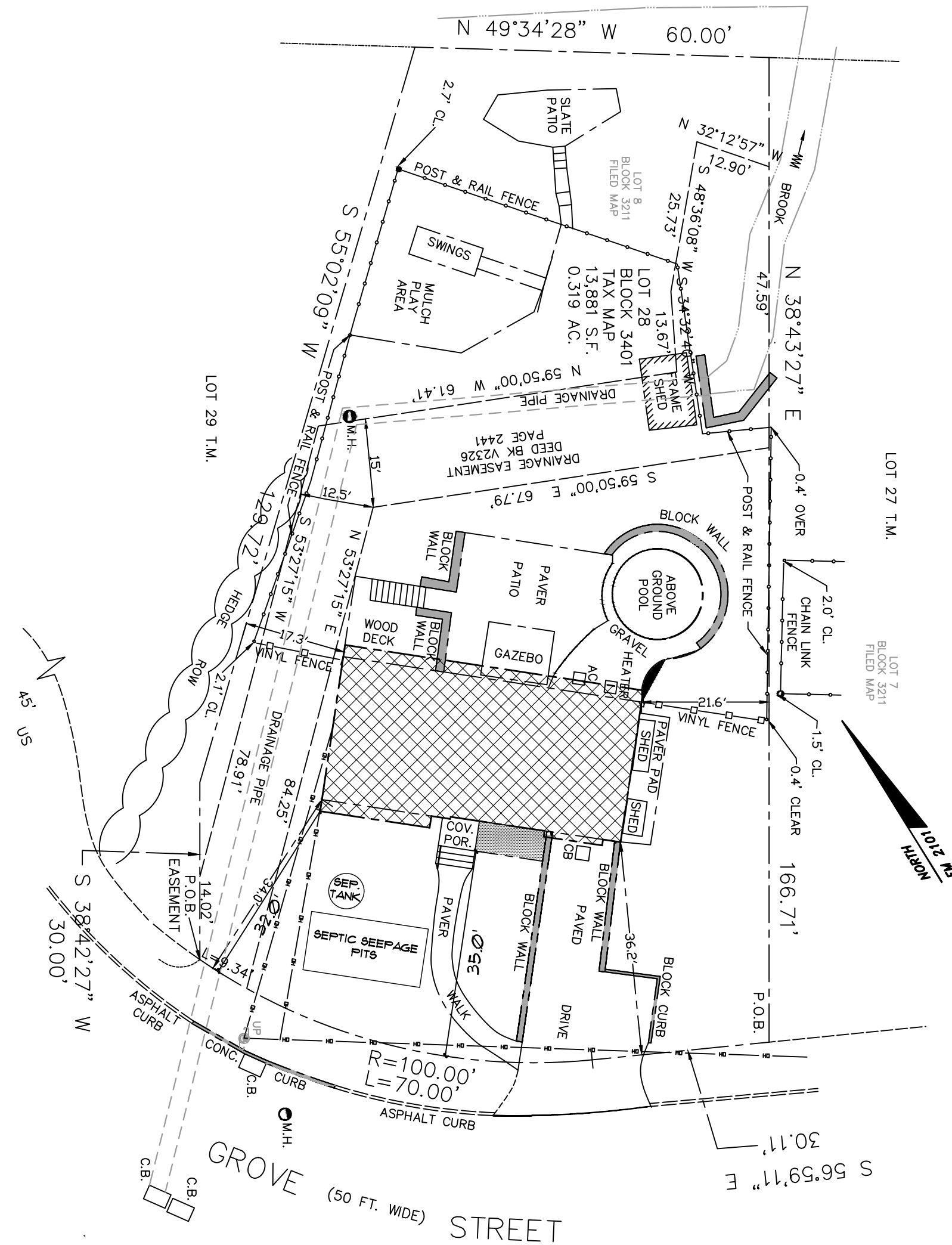
22) GYPSUM BOARD SHALL BE FASTENED WITH APPROVED NAILS OR SCREWS SPACED AS PER "UCC REHAB" STANDARDS. PROVIDE WATER RESISTANT BOARD WALLS AND CEILINGS IN BATHROOMS.

23) ENCLOSE ENTIRE LIVING ENVELOPE WITH A VAPOR BARRIER AND FIBERGLASS BATT INSULATION OF THICKNESS INDICATED. PROVIDE SILL INSULATION INSULATE ALL OVERHANGS.

24) INTERIOR STAIRS SHALL HAVE AT LEAST ONE HANDRAIL. RAILINGS AND BALCONIES SHALL BE DESIGNED TO RESIST FORCES OF 200 LBS. HORIZONTAL FORCE.

25) THE CONTRACTOR SHALL PROVIDE ALL BATHROOM TILES AND FINISHES.

26) SIDING CONTRACTOR SHALL PROVIDE AND INSTALL ALL COMPONENTS OF THE SIDING IN ACCORDANCE WITH MANUFACTURERS INSTALLATION INSTRUCTIONS.



1 SITE PLAN
SCALE: 1" = 20'-0"

SURVEY INFORMATION TAKEN FROM A SURVEY
PREPARED BY: SURVEYOR, STEPHEN EID
FROM EID ASSOCIATES INC. DATED 04/28/2023

SCHEDULE OF BULK REQUIREMENTS-R-A3 ZONE (RESIDENTIAL)			
	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	15,000 SQFT	13,881 SQFT	13,881 SQFT
MIN. LOT WIDTH	100.0'	100.11'	100.11'
MIN. LOT DEPTH	140.0'	159.12'	159.12'
FRONT YARD	40.0'	34.0'	32.0' AT CANTILEVER
SIDE YARD	15'	17.3'/21.6'	17.3'/21.6'
MINIMUM REAR YARD	35.0'	103.0'	101.0'
BUILDING COVERAGE	20% (2,716 S.F.)	9.1% (1,350 S.F.)	11.0% (1,553 S.F.)
IMPERVIOUS COVERAGE	40% (5,552 S.F.)	17.6% (2,445 S.F.)	19.0% (2,648 S.F.)
MAX. HEIGHT (FT.)	2.5 STORIES/35.0'	22.0'	35.0'

LEGEND:

- CLG. MOUNTED INCANDESCENT RECESSED LIGHTING FIXTURE AS SELECTED BY OWNER
- PENDANT LIGHTING FIXTURE AS SELECTED BY OWNER
- SCONCE AS SELECTED BY OWNER
- DUPLEX REC. OUTLET
- GROUND FAULT INTERRUPT DUPLEX REC. OUTLET
- TELEPHONE OUTLET
- SINGLE WAY SWITCH
- THREE WAY SWITCH
- FOUR WAY SWITCH
- JUNCTION BOX FOR LIGHT FIXTURE AS SELECTED BY OWNER
- CABLE
- 150 CFM EXHAUST FAN/LIGHT W/ BACKDRAFT DAMPER
- SMOKE DETECTOR HARD W/ BATTERY BACK UP
- WALL MOUNTED LIGHTING FIXTURE TO BE SELECTED BY OWNER
- HPS MOTION SENSOR LIGHT. SWITCH TO BE LOCATED BY OWNER
- 1"x4" FLUOR
- (2) BULB 40 WATT

EXISTG. WALL TO BE REMOVED, PATCH & REPAIR ADJ. SURFACES AS REQ'D. TO MATCH EXISTG.

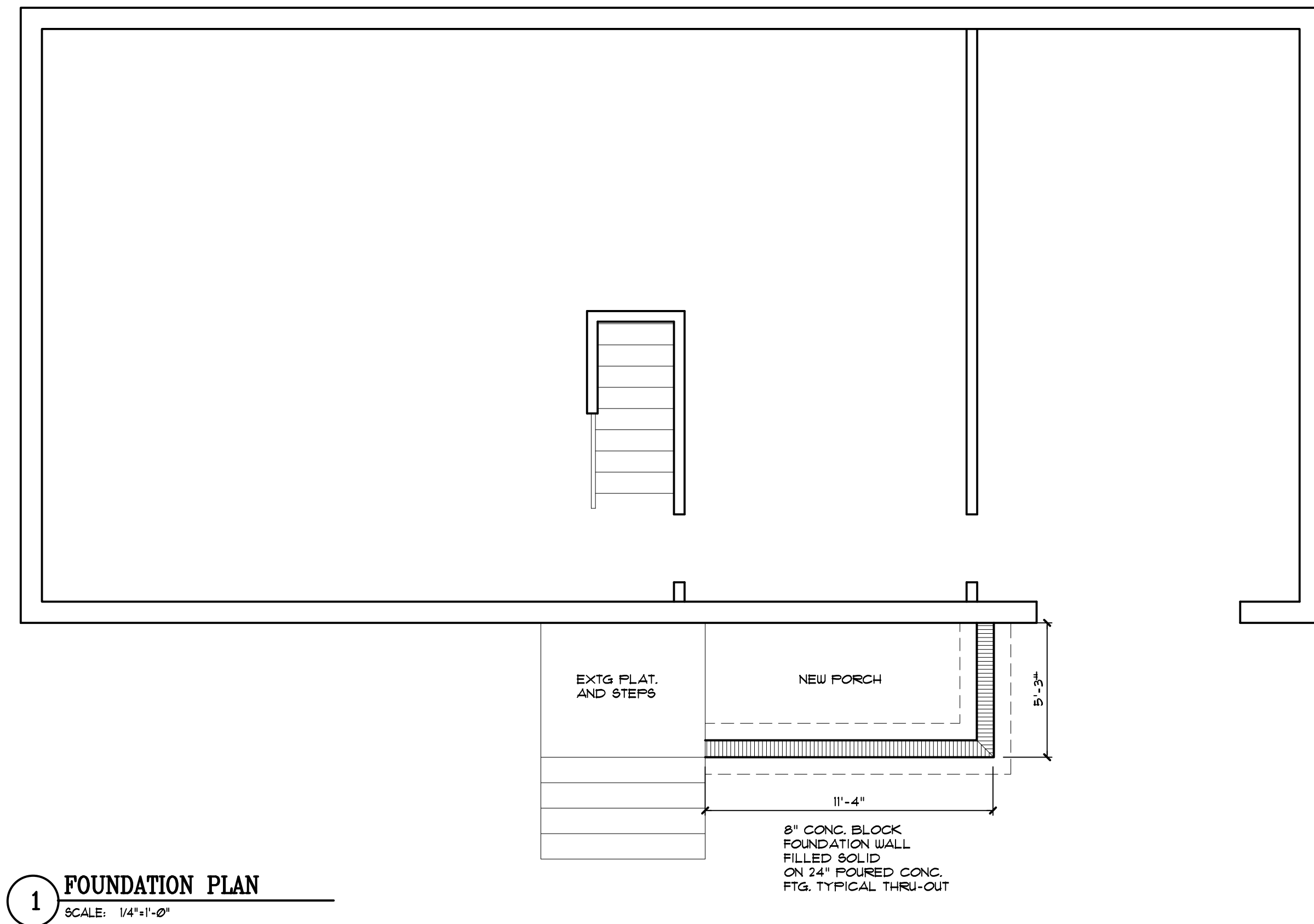
EXISTG. WALL TO REMAIN

NEW WALL, 2"x4" WOOD STUD CONSTRUCTION (UNLESS OTHERWISE NOTED)

AREA OF NEW CONSTRUCTION: 1,385 SF
VOLUME OF NEW CONSTRUCTION: 11,080 CU/FT
USE GROUP-RESIDENTIAL 3
CONST CLASS-SB

CODES USED
2021 IBC NJ EDITION
2021 IRC NJ EDITION
2020 NEC
2021 IECC RESIDENTIAL
2019 ASHRAE 90.1 COMMERCIAL
2021 IMC
2021 IFGC
2017 ANSI A117.1 BARRIER FREE SUBCODE
2021 NSPC
NJAC 5:23-6 REHABILITATION SUBCODE
NJAC 5:23-7 BARRIER FREE SUBCODE

NO.	DATE:	REVISION
ROCKWOOD ARCHITECTURE + DESIGN		
17-15 MAPLE AVENUE FAIR LAWN, NEW JERSEY 07410 (P) 201.773.8303 (F) 201.773.8304		
PROJECT: MAWHINNEY RESIDENCE 98 GROVE STREET OAKLAND, NEW JERSEY		
DRAWING TITLE: COVER SHEET		
SEAL & SIGNATURE	DATE:	04-05-2023
	SCALE:	AS NOTED
	PROJECT No.:	22-153
	DRAWING BY:	CR
CHRISTOPHER RODRIGUEZ NJ LIC. 17519 NY LIC. 34895 PA LIC. 405364	DWG No.:	A-1
	DWG: 1 OF 5	



1 FOUNDATION PLAN
SCALE: 1/4"=1'-0"

RIDGE CONSTRUCTION:

- NEW #20 DIMENSIONAL ASPHALT SHINGLES
- CONTINUOUS RIDGE VENT
- RIDGE BOARD AS INDICATED IN PLAN
- 30# FELT
- 5/8" EXT. GRADE PLYWD. SHEATHING
- 2"x6" COLLAR TIES @ 16" O.C.

ROOF CONSTRUCTION:

- TIMBERLINE ARCHITECTURAL ASPHALT SHINGLES
- 15# FELT
- 5/8" EXT. GRADE PLYWD. SHEATHING
- ROOF RAFTERS AS INDICATED IN PLAN
- R-38 INS. W/ VAPOR BARRIER
- 1/2" GYP. BD. INTERIOR
- CEILING JOISTS AS INDICATED IN PLAN

FASCIA CONSTRUCTION:

- FASCIA TO MATCH EXTG-TYPICAL
- 2" RAKE BOARD
- SOLID BLOCKING
- 2" x 4" NAILER STRIP
- ALUMINUM SOFFIT W/ CONTINUOUS VENT
- ALUM. GUTTER & LEADER

- PLYWOOD FIRESTOP @ 10" O.C. HORIZONTALLY ALONG ALL SOFFITS
- TRIPLE HEADER @ 6'-8"

WALL CONSTRUCTION:

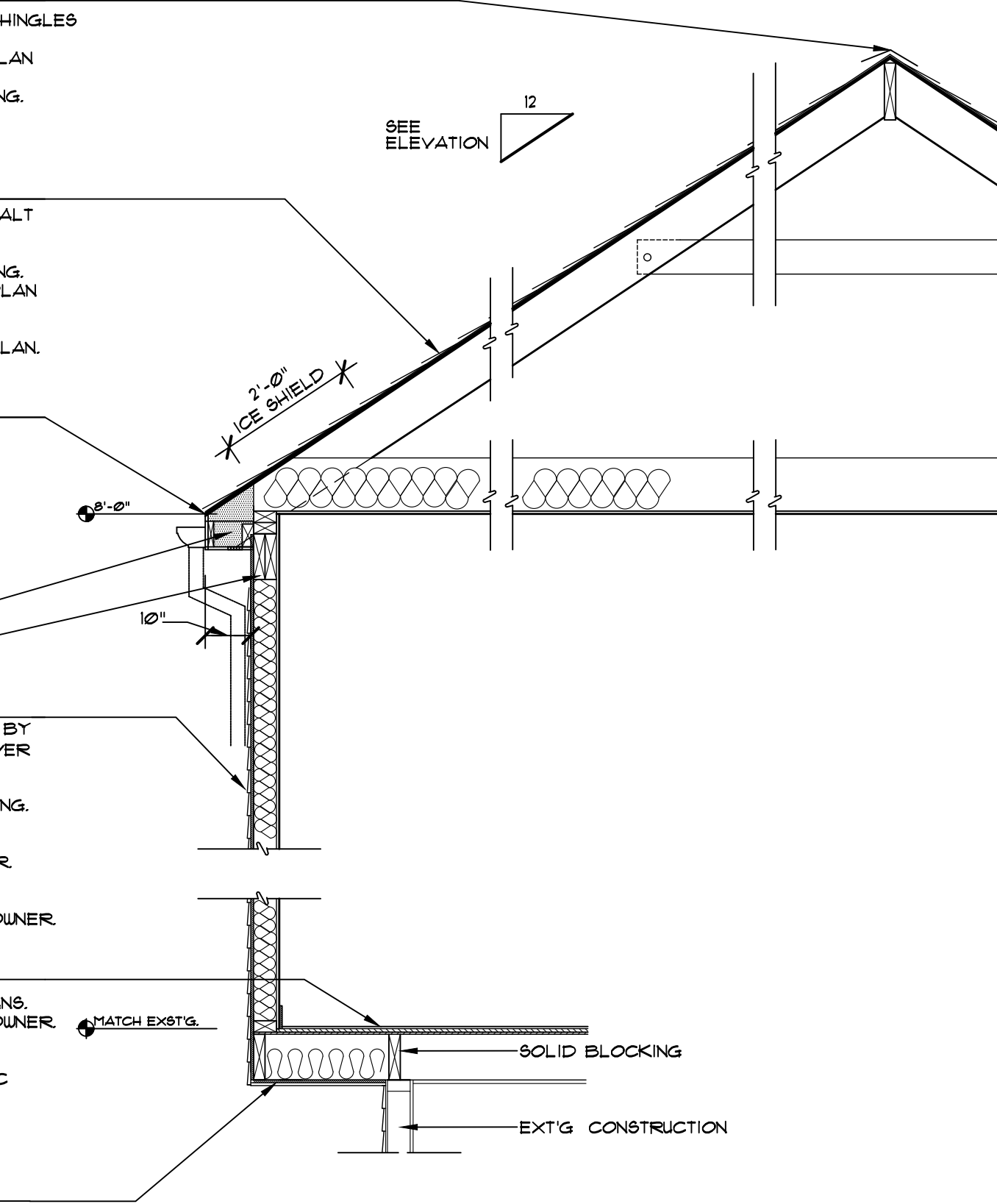
- NEW 5" VINYL SIDING AS SELECTED BY OWNER WITH 1/2" RIDGID INSULATION OVER PLYWOOD
- 15# FELT
- 1/2" EXT. GRADE PLYWOOD SHEATHING
- 2"x6" WOOD STUDS @ 16" O.C.
- (2) 2" x 6" TOP PLATE
- R-21 INSULATION W/ VAPOR BARRIER
- 2"x6" SOLE PLATE
- 1/2" GYP. BD.
- BASE MOLDING AS SELECTED BY OWNER

FLOOR CONSTRUCTION:

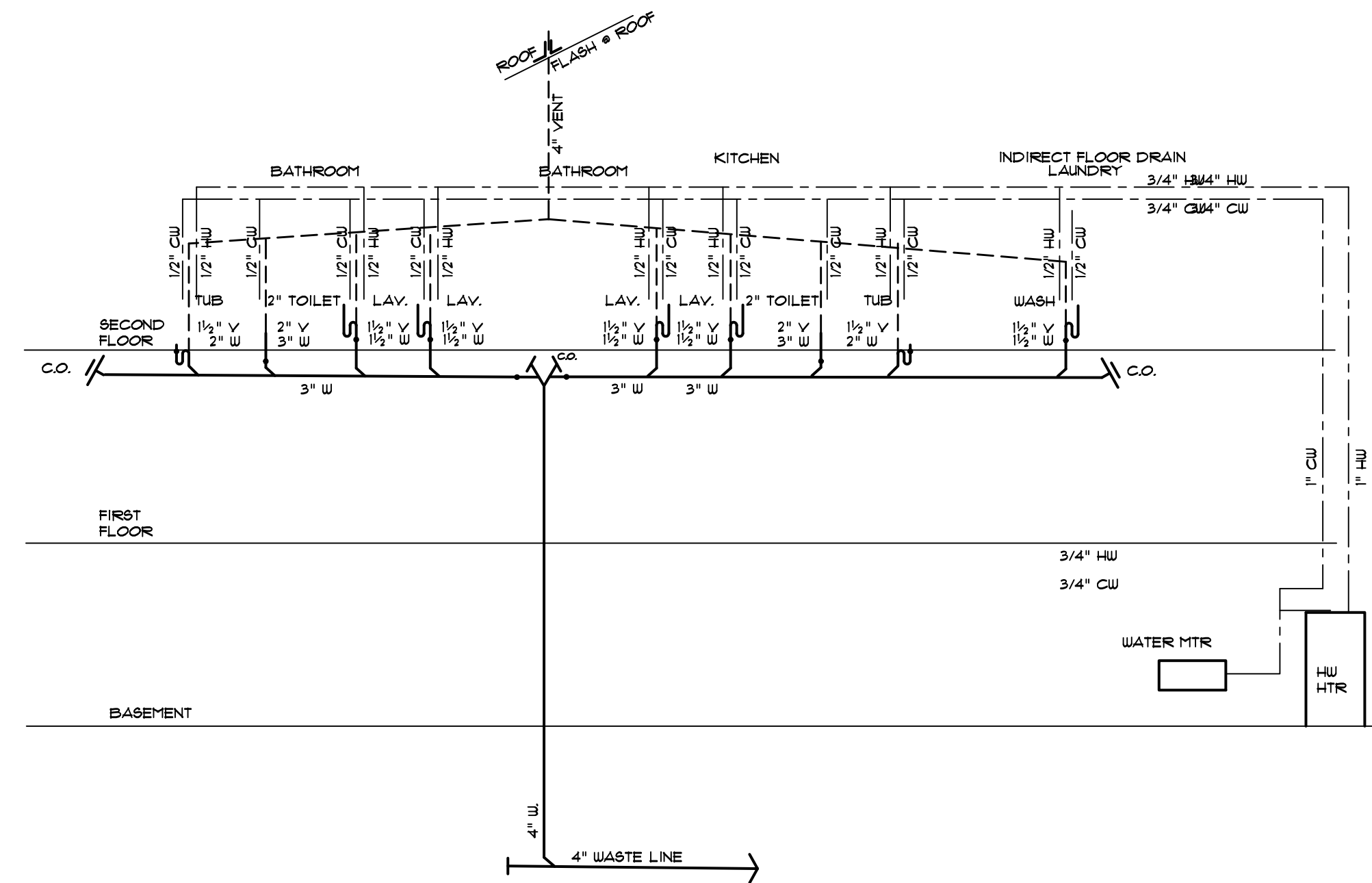
- FINISH FLOOR AS INDICATED IN PLANS
- BASE MOLDING AS SELECTED BY OWNER
- 3/8" PLYWOOD FLOORING
- 5/8" PLYWOOD SUBFLOOR
- 11 1/8 BCI 5000S 18 JOIST AT 16" O.C. W/ SOLID BLOCKING @ 1/3 POINTS OF SPAN OR 8'-0" MAX. DOUBLE UP JOISTS BELOW BATHRM.

SOFFIT CONSTRUCTION:

- 1/2" PLYWOOD SHEATHING @ EXTERIOR
- VINYL SOFFIT @ EXTERIOR / SHEETROCK @ INTERIOR DINING AREA/FAMILY ROOM
- R-30 INSULATION

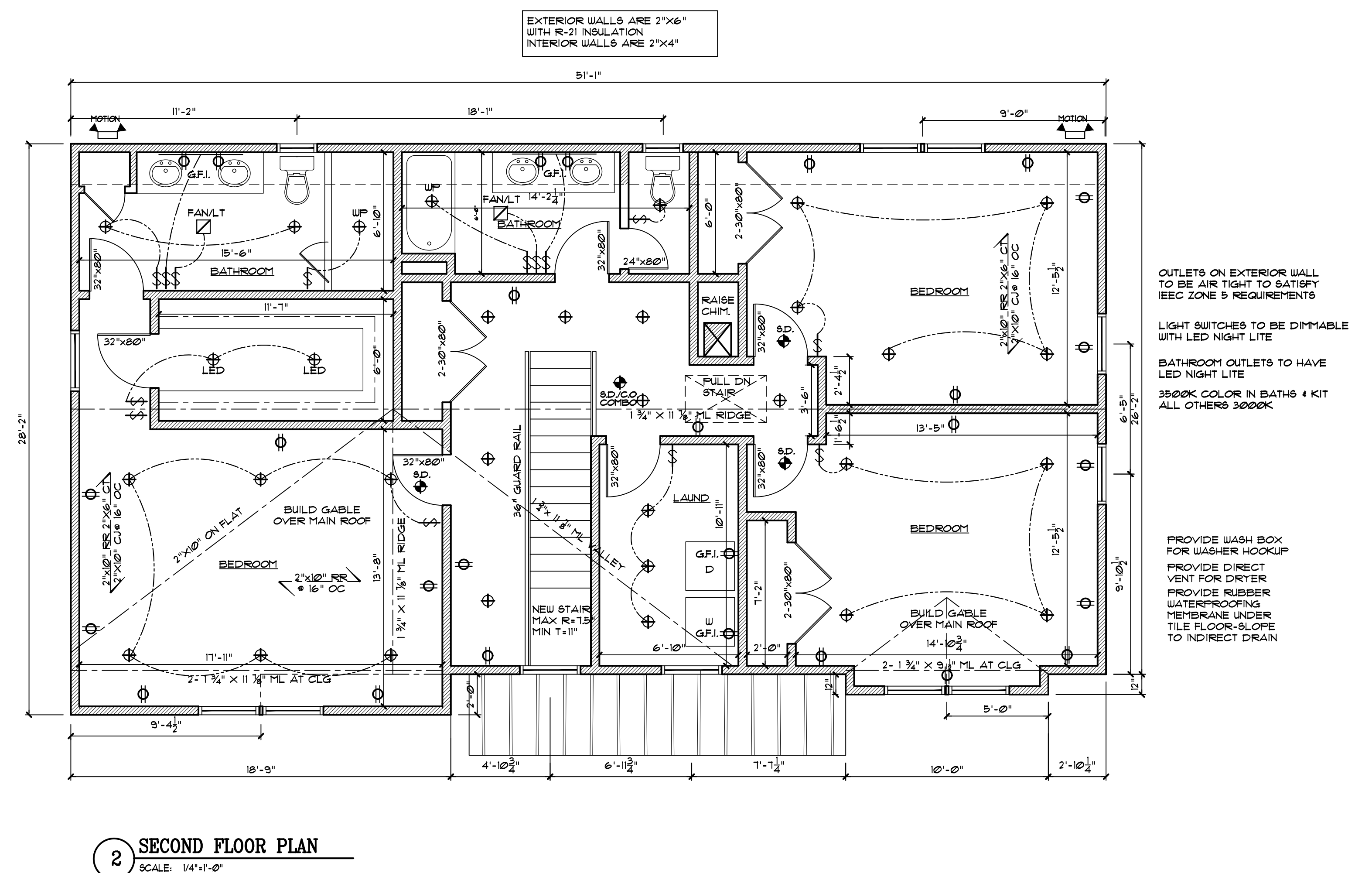
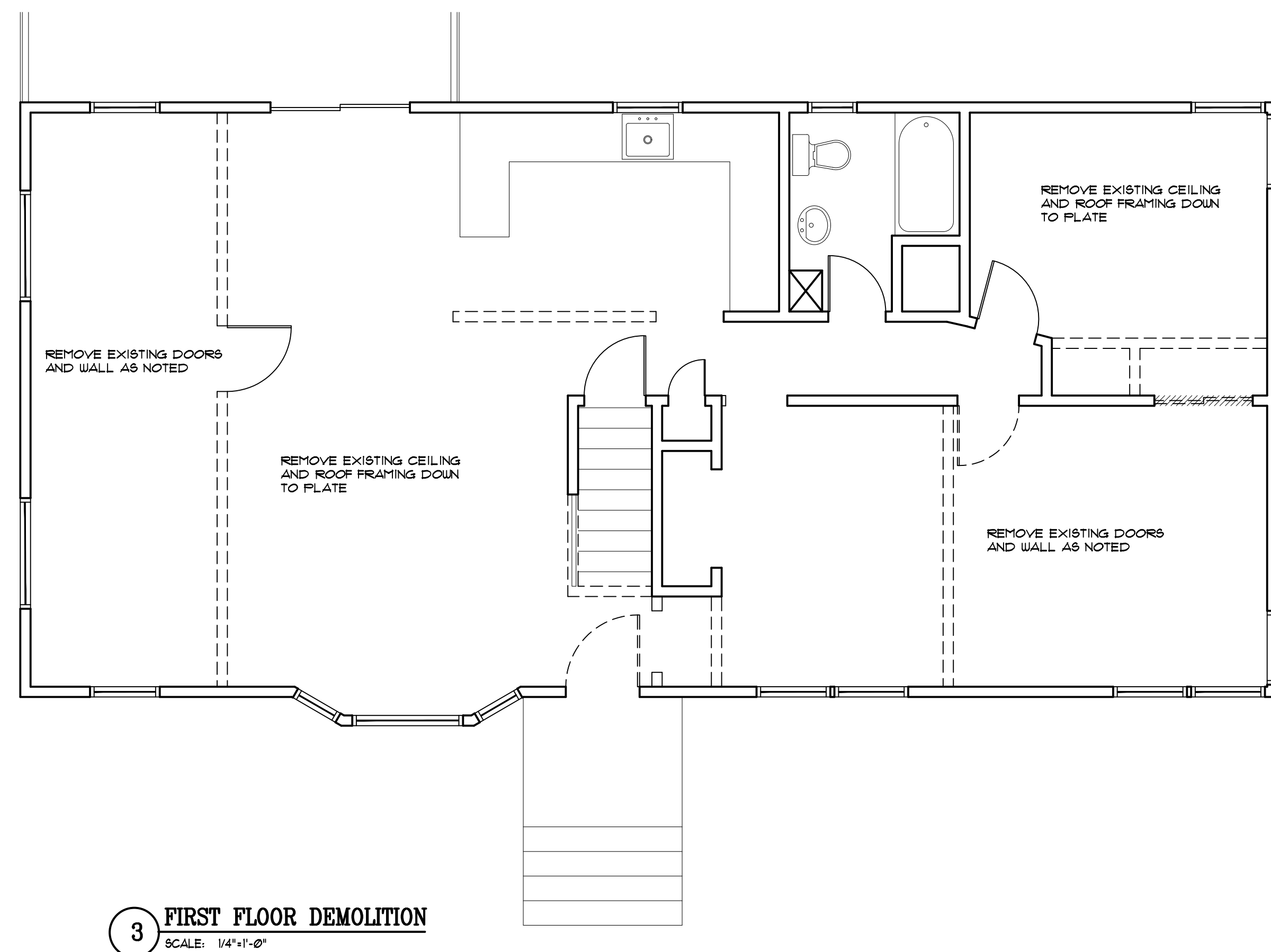
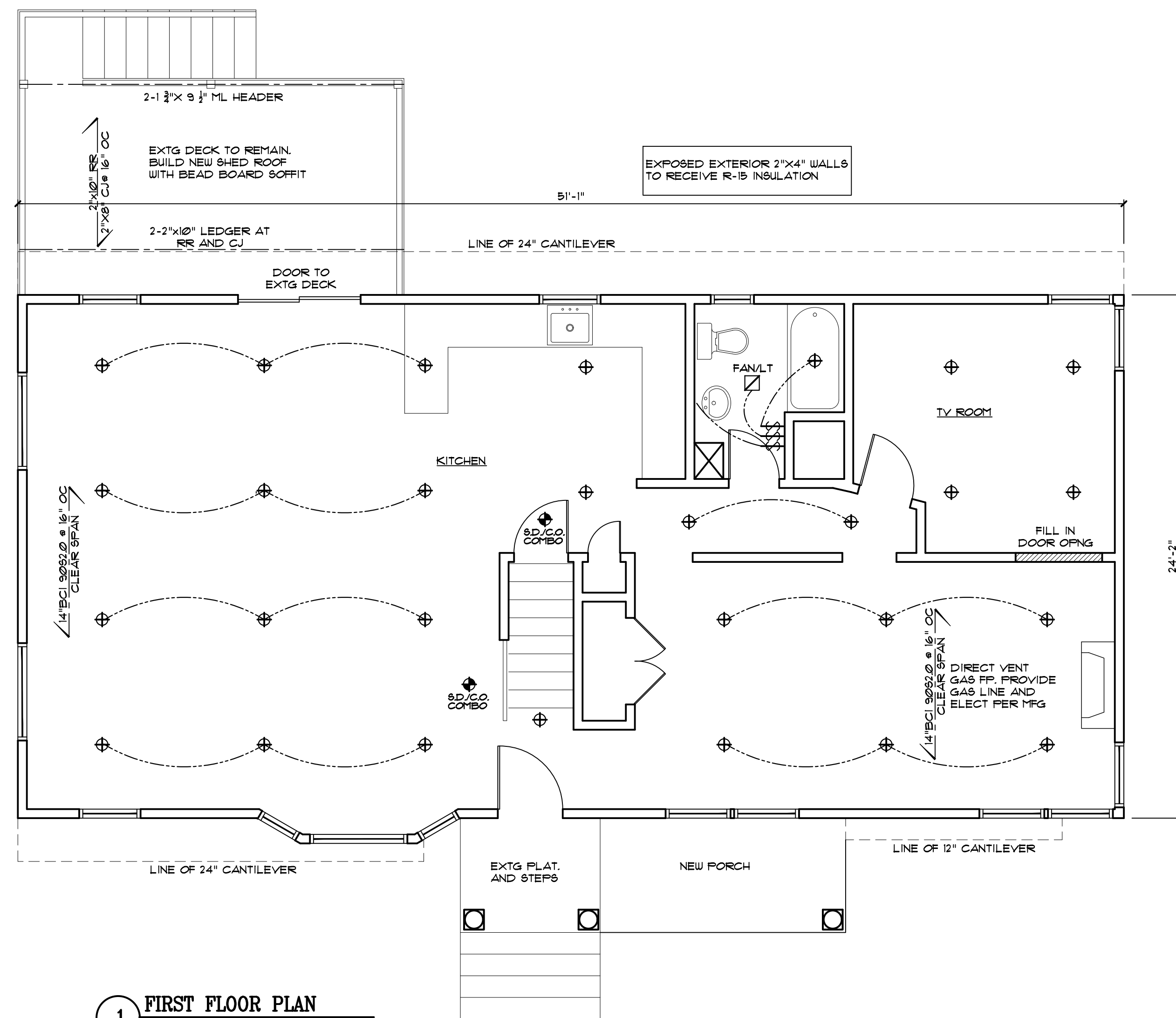


2 WALL SECTION
SCALE: 1/2"=1'-0"



3 PLUMBING RISER
SCALE: NTS

NO.	DATE:	REVISION
ROCKWOOD ARCHITECTURE + DESIGN 17-15 MAPLE AVENUE FAIR LAWN, NEW JERSEY 07410 (P) 201.773.8303 (F) 201.773.8304		
PROJECT: MAWHINNEY RESIDENCE 98 GROVE STREET OAKLAND, NEW JERSEY		
DRAWING TITLE: FOUNDATION PLAN & WALL DETAILS		
SEAL & SIGNATURE	DATE:	04-05-2023
	SCALE:	AS NOTED
	PROJECT No.:	22-153
	DRAWING BY:	CR
	DWG No.:	A-2
	DWG:	2 OF 5
CHRISTOPHER RODRIGUEZ NJ LIC. 17519 NY LIC. 34895 PA LIC. 405364		



NO.	DATE:	REVISION
<div>ROCKWOOD ARCHITECTURE + DESIGN</div> <div>17-15 MAPLE AVENUE FAIR LAWN, NEW JERSEY 07410 (P) 201.773.8303 (F) 201.773.8304</div>		
PROJECT: <div>MAWHINNEY RESIDENCE</div> <div>98 GROVE STREET OAKLAND, NEW JERSEY</div>		
DRAWING TITLE: <div>FLOOR PLANS</div>		
SEAL & SIGNATURE		DATE: 05-05-2023 SCALE: AS NOTED PROJECT No.: 22-153 DRAWING BY: CR DWG No.: <div>A-3</div>
CHRISTOPHER RODRIGUEZ NJ LIC. 17519 NY LIC. 34895 PA LIC. 405364		DWG: 3 OF 5



1 FRONT ELEVATION
SCALE: 1/4\"=1'-0"



2 REAR ELEVATION
SCALE: 1/4\"=1'-0"

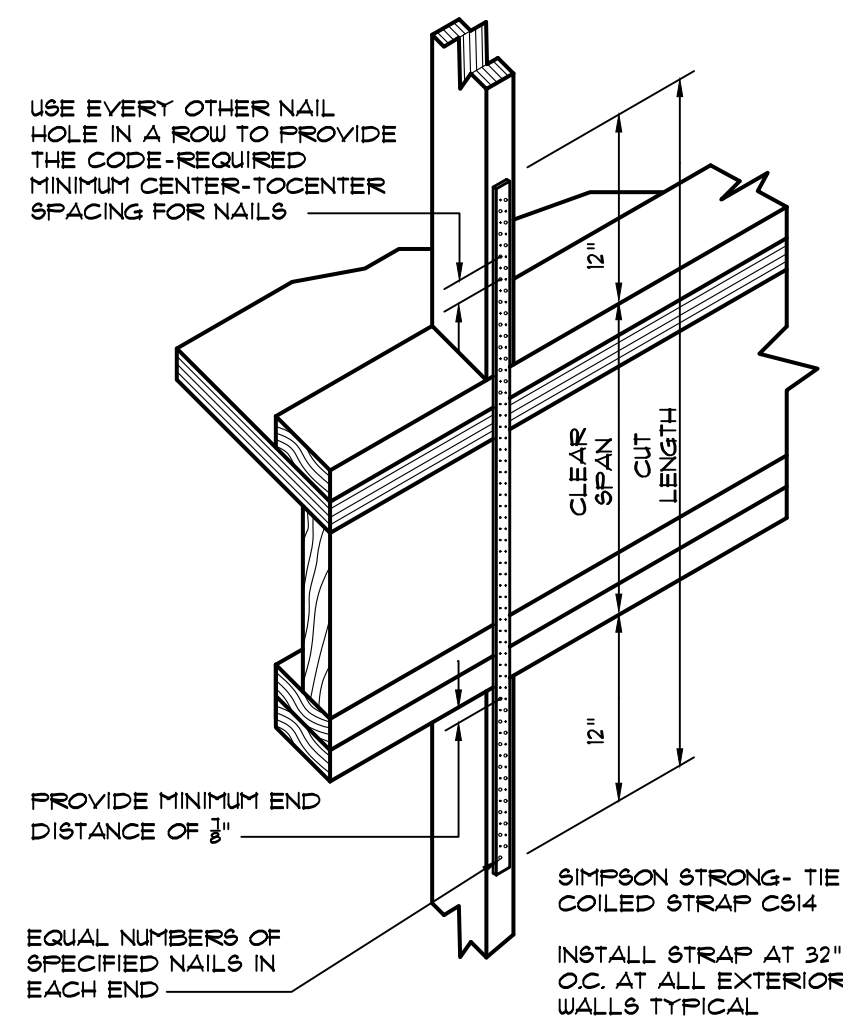


3 WEST ELEVATION
SCALE: 1/4\"=1'-0"

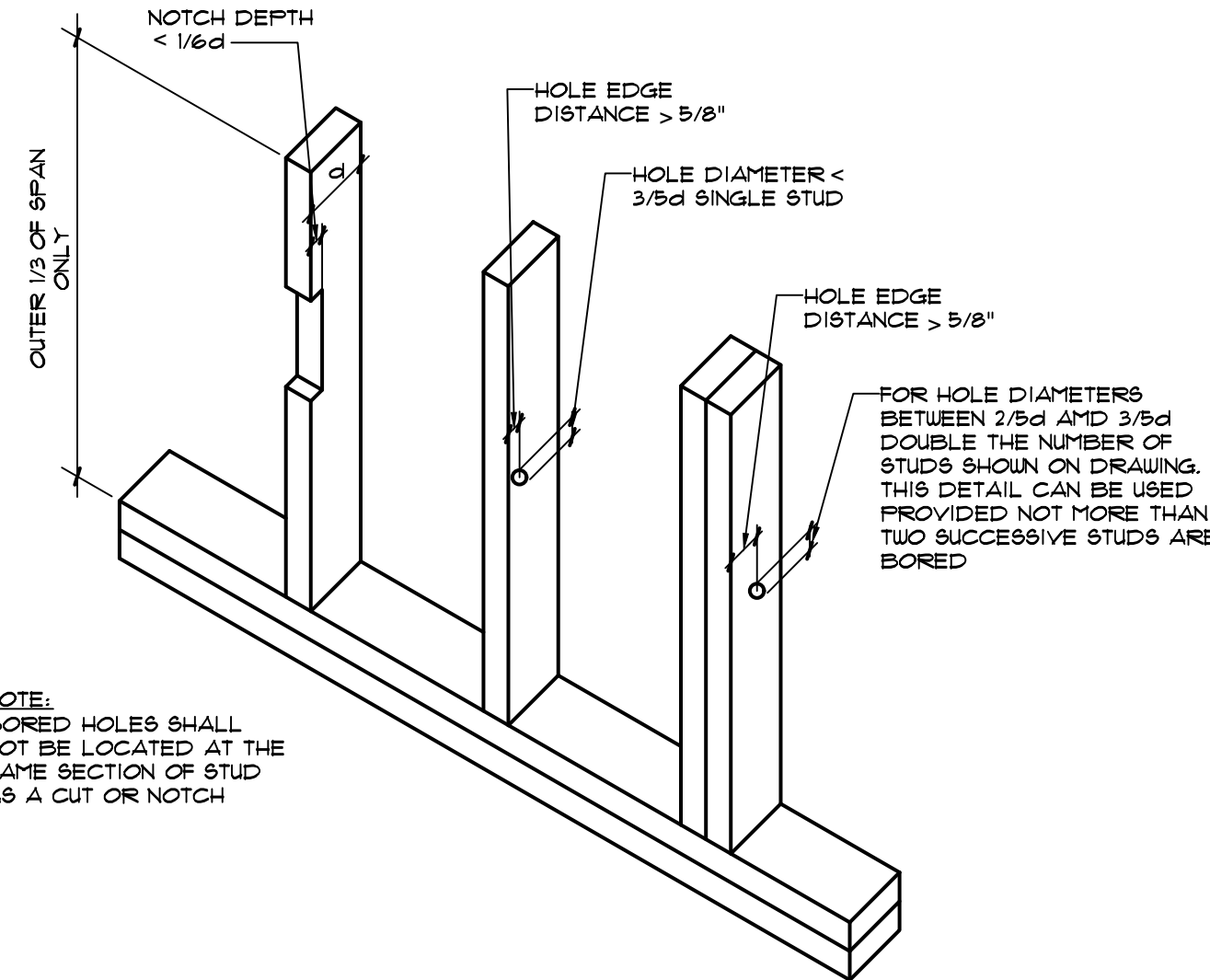


4 EAST ELEVATION
SCALE: 1/4\"=1'-0"

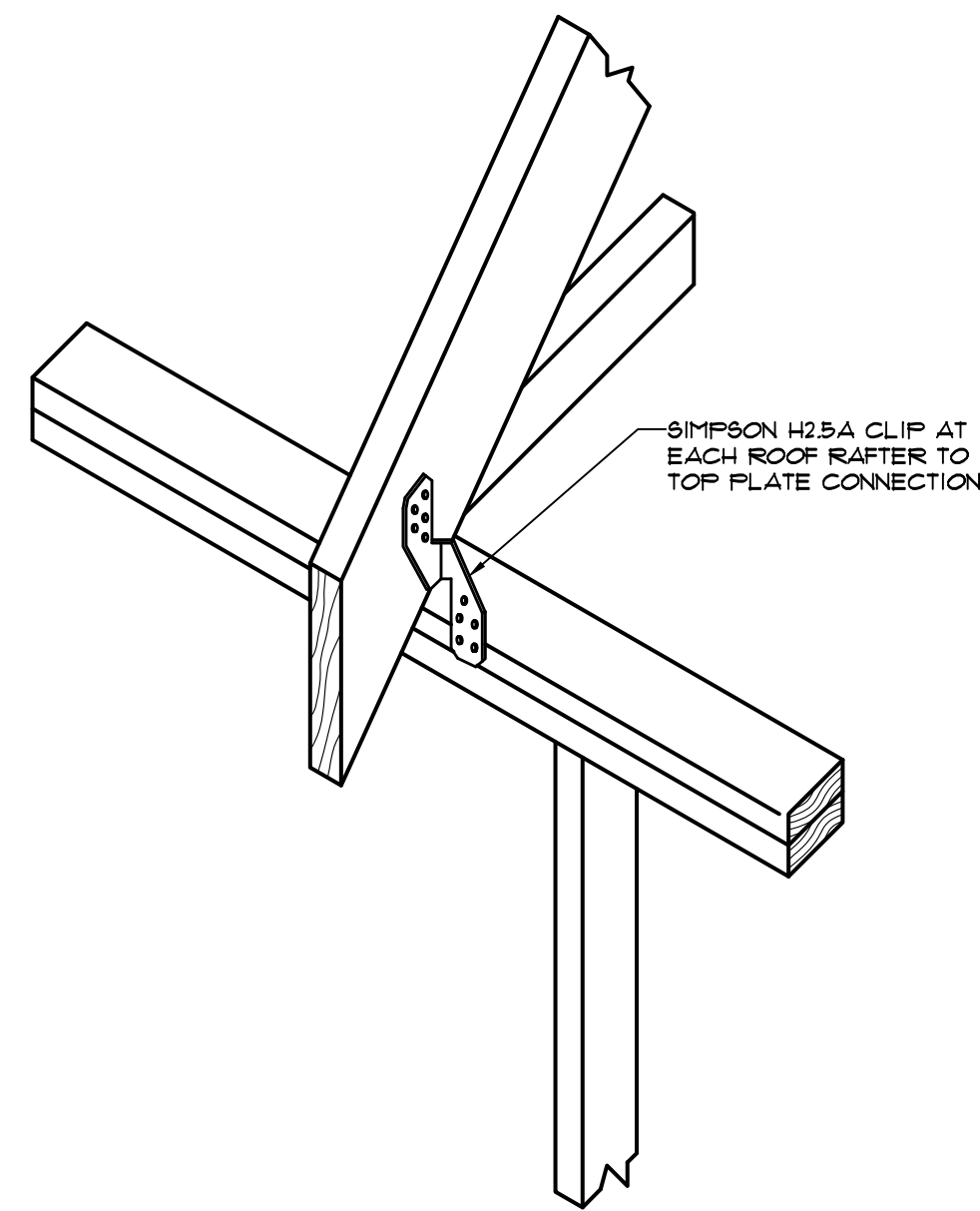
NO.		DATE:	REVISION
ROCKWOOD ARCHITECTURE + DESIGN			
17-15 MAPLE AVENUE FAIR LAWN, NEW JERSEY 07410 (P) 201.773.8303 (F) 201.773.8304			
PROJECT: MAWHINNEY RESIDENCE 98 GROVE STREET OAKLAND, NEW JERSEY			
DRAWING TITLE: ELEVATIONS			
SEAL & SIGNATURE		DATE:	04-05-2023
		SCALE:	AS NOTED
		PROJECT No.:	22-153
		DRAWING BY:	CR
		DWG No.:	A-4
CHRISTOPHER RODRIGUEZ NJ LIC. 17519 NY LIC. 34895 PA LIC. 405364		DWG: 4 OF 5	



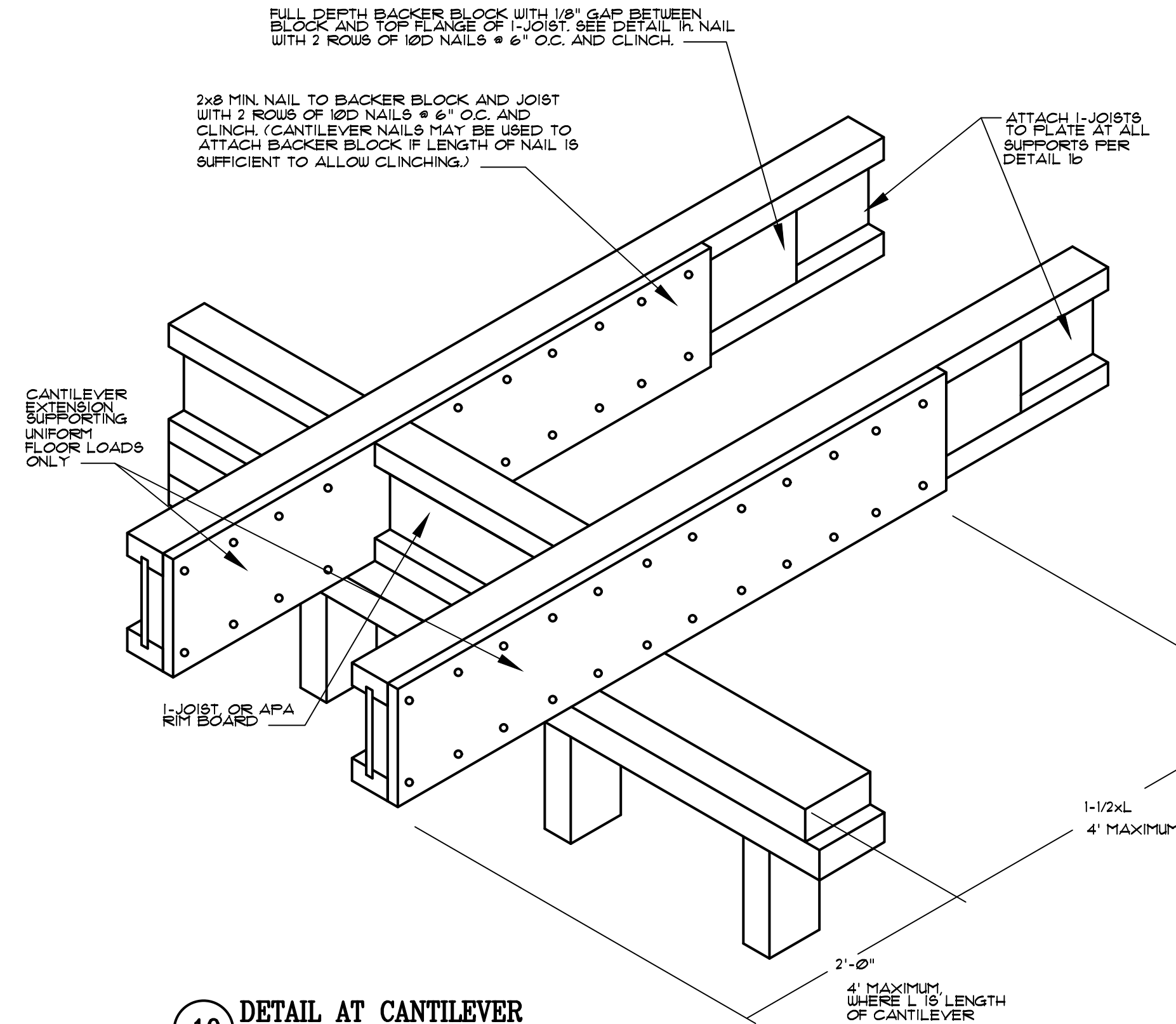
1 WALL STRAP DETAIL
SCALE: 1"=1'-0"



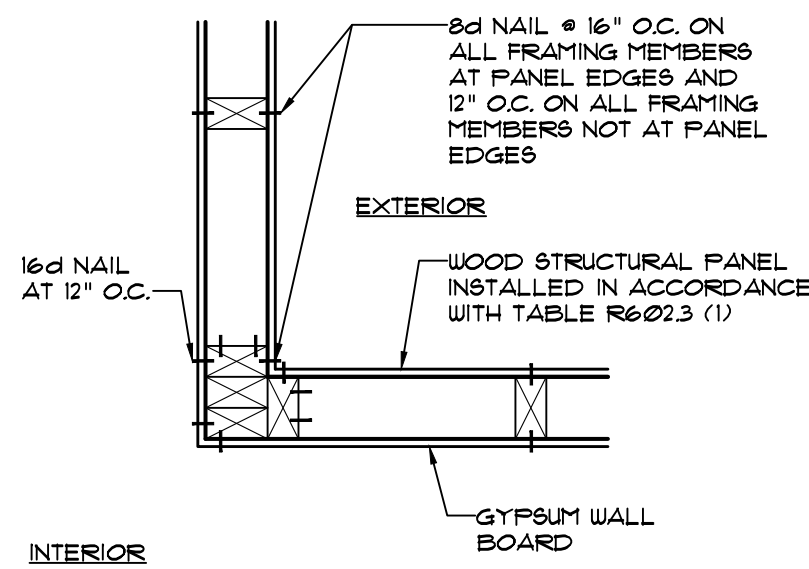
2 STUD NOTCHING & BORING
SCALE: 1"=1'-0"



3 ROOF TIE DOWN DETAIL
SCALE: 1"=1'-0"



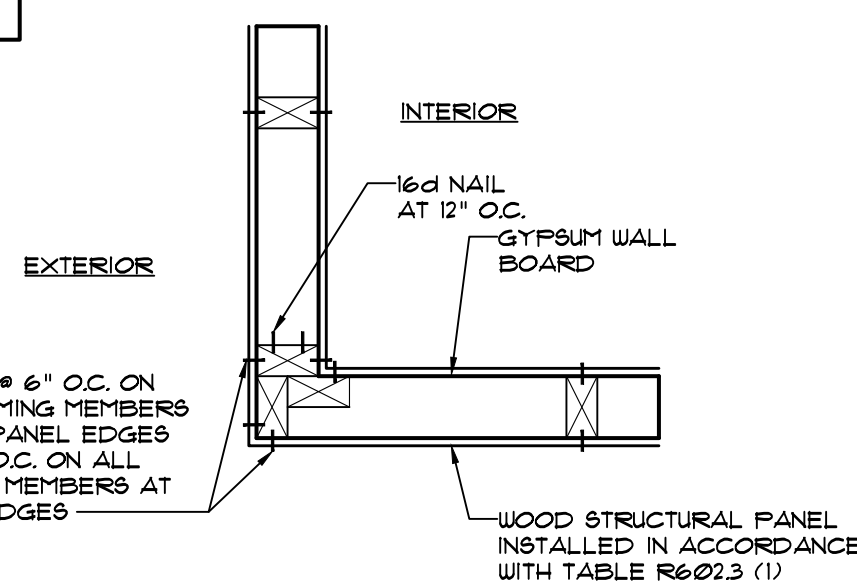
10 DETAIL AT CANTILEVER
SCALE: 1"=1'-0"



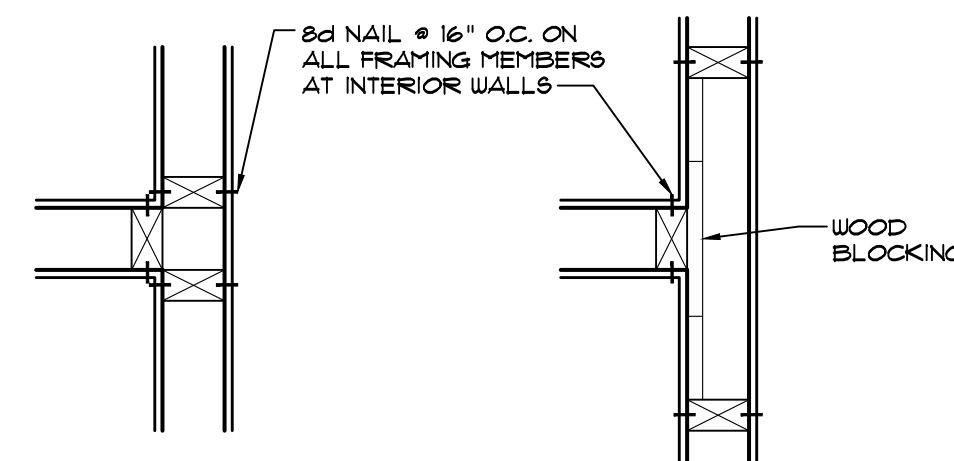
4 INSIDE CORNER DETAIL
SCALE: 1"=1'-0"

CONTINUOUS STRUCTURAL PANEL SHEATHING			
BUILDING ELEMENT	EASTNER NUMBER & TYPE	FIELD SPACING	EDGE SPACING
1" WALL SHEATHING	8d COMMON NAIL	6" O.C.	6" O.C.
5" ROOF SHEATHING	8d DEFORMED NAIL	6" O.C.	4" O.C.

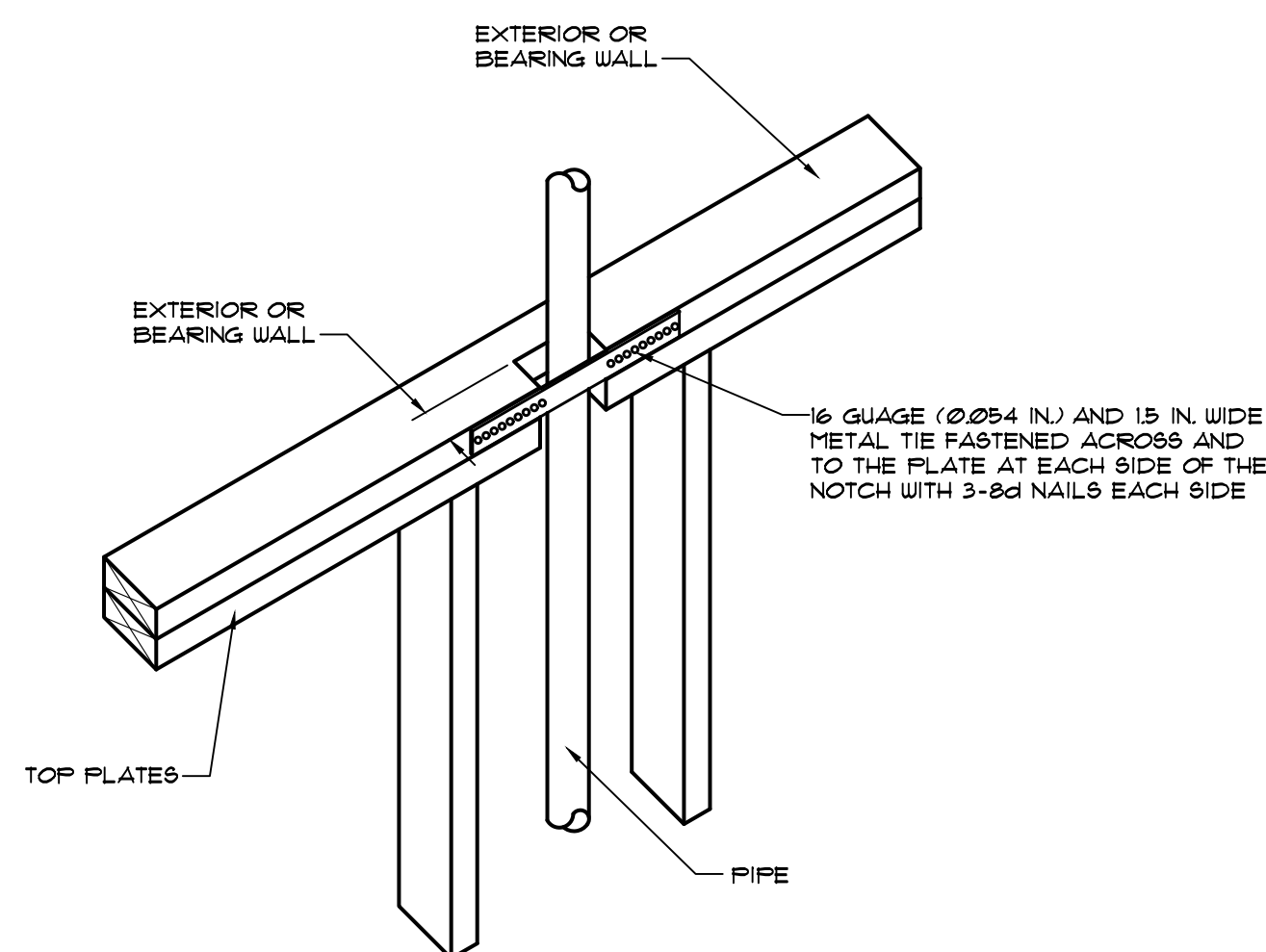
NOTE:
1. NAILS FOR ATTACHING PANEL ROOF SHEATHING TO INTERMEDIATE SUPPORTS SHALL BE SPACED 6" ON CENTER FOR MINIMUM 48" DISTANCE FROM RIDGES, EAVES AND GABLE END WALLS ± AND 4" ON CENTER TO GABLE END WALL FRAMING.
2. SEE DIAGRAMS FOR OUTSIDE AND INSIDE CORNER FRAMING.
3. PROVIDE 4"x4" SOLID BLOCKING FOR ALL HORIZONTAL WALL JOINTS.



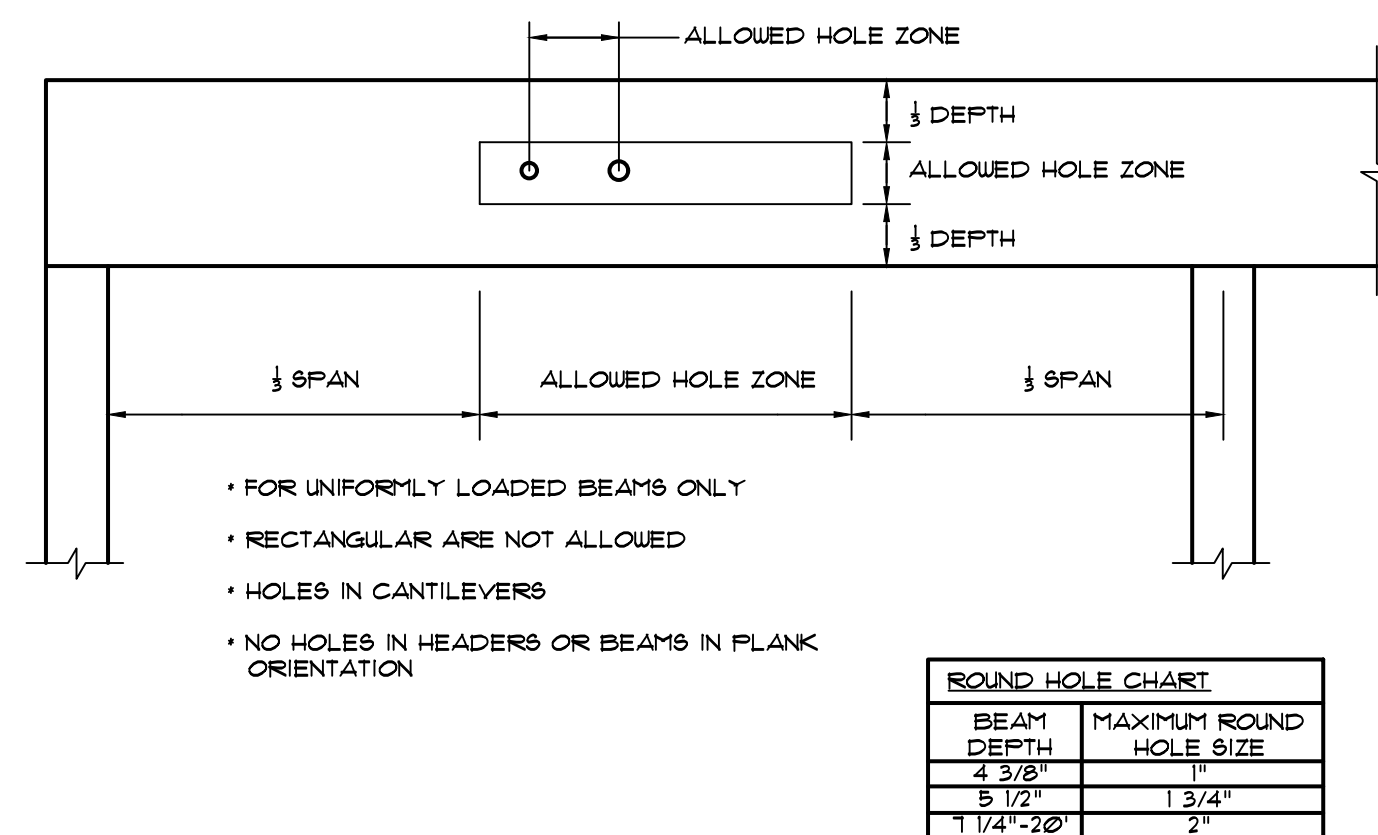
5 OUTSIDE CORNER DETAIL
SCALE: 1"=1'-0"



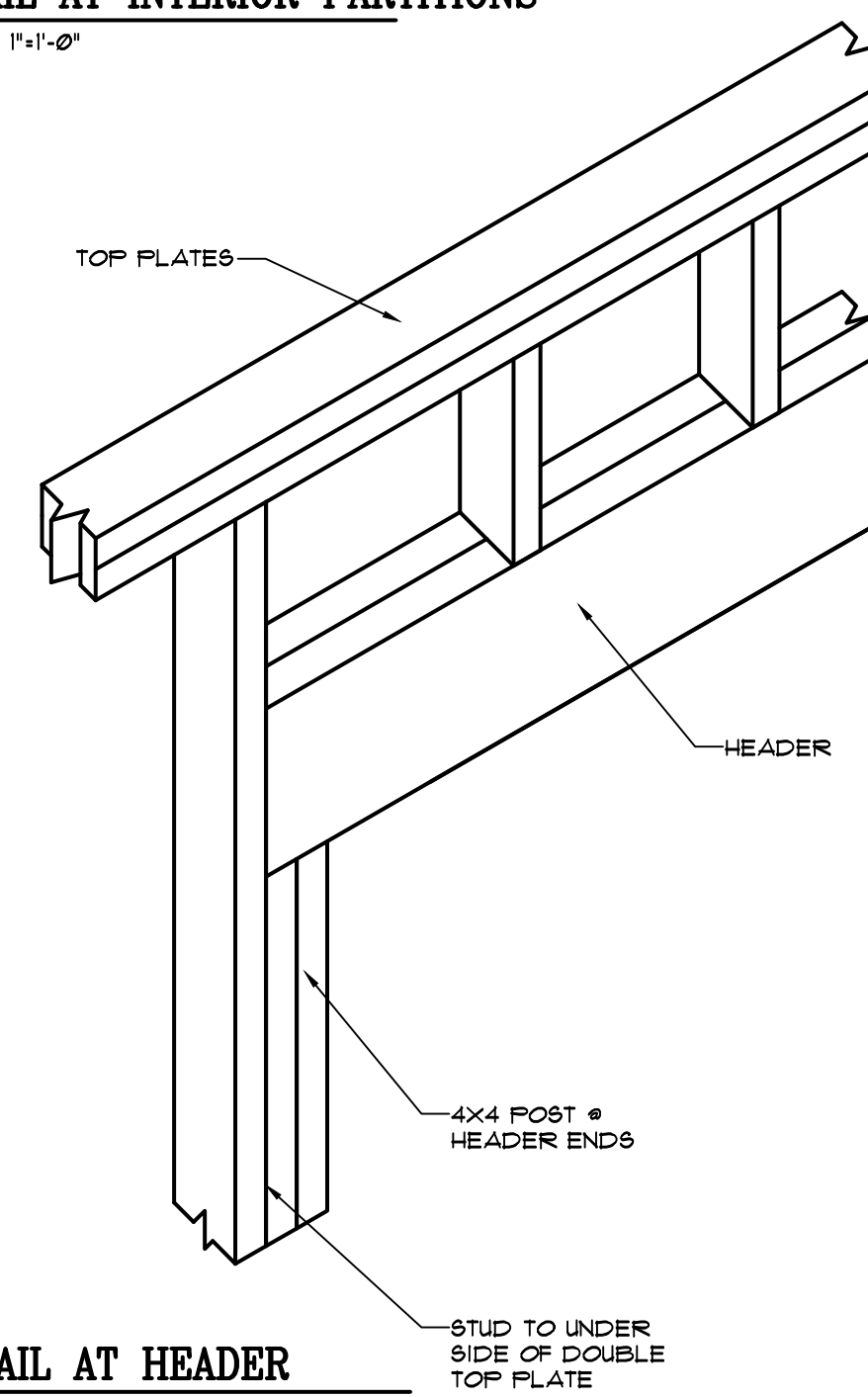
6 DETAIL AT INTERIOR PARTITIONS
SCALE: 1"=1'-0"



7 PLATE PIPE PENETRATION
SCALE: 1"=1'-0"



8 ALLOWABLE HOLES IN BEAMS & HEADERS
SCALE: 1"=1'-0"



9 DETAIL AT HEADER
SCALE: 1"=1'-0"

NO.	DATE:	REVISION
ROCKWOOD ARCHITECTURE + DESIGN		
17-15 MAPLE AVENUE FAIR LAWN, NEW JERSEY 07410 (P) 201.773.8303 (F) 201.773.8304		
PROJECT: MAWHINNEY RESIDENCE 98 GROVE STREET OAKLAND, NEW JERSEY		
DRAWING TITLE: FRAMING DETAILS		
SEAL & SIGNATURE	DATE: 04-05-2023 SCALE: AS NOTED PROJECT No.: 22-153 DRAWING BY: CR DWG No.: A-5	
CHRISTOPHER RODRIGUEZ NJ LIC. 17519 NY LIC. 34895 PA LIC. 405364		DWG: 5 OF 5

