



BOROUGH OF OAKLAND, NEW JERSEY

TO: Board of Adjustment

FROM: Glen Turi

This is to advise you that on March 21, 2023 a denial was issued to the resident Rob Passaro & Alissa Passaro for the location 43 Overlook Ridge, Oakland, NJ 07436

Block: 2601.08 Lot: 23

Zoning District: RA-C

For: Construction of a deck

For the following reasons:

- 1) Rear Yard: 37.5'ft.(estimated) proposed, 50 feet minimum required
- 2) Side Yard: 43.13ft.(estimated left) proposed, 50 feet minimum required
- 3) Side Yard: 43.13ft.(estimated right) proposed, 50 feet minimum required

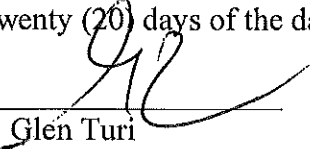
The Ordinances pertaining to this application are:

Chapter 59

Attachment 5

Fee: \$50.00 Paid by: #537 LOD: #Z-0121001

An appeal to the Board of Adjustment of the determination must be made within twenty (20) days of the date of this determination.


Glen Turi
Zoning Official

PROCEDURAL CHECKLIST FOR VARIANCE APPLICATIONS

(Application to be typed or printed clearly please)

- ☒ 1. Apply to Zoning Officer for a permit for a use or structure not permitted by the zoning ordinance. A letter of denial will be issued and signed by the Zoning Officer citing the reasons for the denial of a building permit or certificate of occupancy.
- ☒ 2. Secure a copy of the application form from the Board Secretary. Applications must be filed within twenty (20) days of the issuance of denial from the Zoning Officer.
- ☐ 3. Plans and survey must be prepared and certified by a licensed land surveyor, architect or engineer. Survey plan submitted with the application must be to-scale and correctly and completely reflect current conditions on the site and be less than five (5) years old or newer. Plans must be drawn to scale indicating the relation of existing and/or the proposed structure with structures on all adjoining properties and a scale drawing of existing and/or proposed structures indicating changes or alterations contemplated. Please specify the location of all wells, septic systems, or sewer lines on plans. Submitted plans must show floor plan (footprint) of all levels and elevations. All submitted plans shall include the date prepared and all revision dates, be signed by the plan preparer and include a name on the plan(s)
- ☐ 4. Submit 20 copies of completed application (signed and notarized), 20 copies of Zoning Officer's denial letter, 20 copies folded plans and 20 copies of most recent sealed survey of the property. 1 pdf copy sent via e-mail to planning@oakland-nj.org. All copies mentioned must be in packet form collated and submitted to the Board Secretary.
- ☐ 5. Two separate checks for the application fees and escrow fees made out to the Borough of Oakland.
- ☐ 6. A hearing date will be assigned upon the receipt of a completed application, review process and appropriate fees. The Board of Adjustment regularly meets on the second Tuesday of each month at 8:00 p.m. in the Oakland Council Chambers, 10 Lawlor Drive, Oakland, New Jersey.
- ☐ 7. Obtain a list of all property owners within 200-feet of the property in question from the Tax Assessor's office after variance application has been filed with the Board Secretary and a meeting date has been assigned.
- ☐ 8. Once a hearing date has been assigned and a 200-foot property owner list has been obtained, send notice of appeal to property owners within 200-feet. Sample forms are a part of your application package given by the Board Secretary. Notice must be served to all property owners in adjoining municipalities, if applicable. In such cases, notice must be served to the Municipal Clerk of that Borough. Every Notice must be served no less than 10 days prior to hearing date by certified mail or in person. If noticing in person, the applicant must have each property owner print name and address, sign and date a copy of the notice that they have been informed. Notice is to be placed in the official newspaper of the Borough (The Record) no less than 10 days prior to the hearing date.
- ☐ 9. Upon the completion of service to all applicable property owners, the notice must be sworn before a notary by the person making the service. Proof of service must be given to the Board Secretary prior to the hearing date, which should include, copy of the letter served to property owners, affidavit from the official newspaper and white postal receipts with date of mailing stamped by the post office.

- 10. Appear at public hearing in person, by agent or attorney. All Corporations must be represented by an attorney at all Board hearings.

Important:

In order to expedite the processing of your application the applicant should comply with the above instructions. The Board can take no action until the above requirements are fully complied with and if unable to act within 90 days from the date of application, the Board will be deemed by law to have decided adversely to the application. The action taken by the Board will be advertised in the official newspaper as soon as possible after the hearing. Decisions of the Board will be mailed to the applicant or applicant's attorney as soon as possible but not later than 30 days thereafter. The building inspector must receive a copy of the resolution of approval before he can issue a building permit or certificate of occupancy.

Any questions regarding the application or filing requirements should be directed to the Board Secretary at 201-337-8538.

PLEASE NOTE: The area where the variance is requested must be staked out so that the Board member can see where application is proposed upon their site inspections.

**BOROUGH OF OAKLAND
BERGEN COUNTY, NEW JERSEY**

**APPLICATION FOR RESIDENTIAL VARIANCE FROM
LOT AREA AND SETBACK REQUIREMENTS**

Date _____

**NOTE: APPLICATION SETS MUST BE COLLATED AND
SUBMITTED IN PACKET FORM FOR PROCESSESSING.**

Date Received _____
Fee Submitted _____
Jurisdiction Date _____
Complete Date _____
Date by _____
Board Action _____

FOR OFFICIAL USE ONLY

Check nature of the application:

- ☐ Appeal interpretation of Building Inspector. (Type A)
☒ Bulk variance, requesting relief from dimensional zoning code requirement
(Type C).
☐ Use variance from zoning code permitted uses. (Type D)

The undersigned, as Applicant/Owner of the subject property listed below hereby makes application to the Borough of Oakland Board of Adjustment for relief from residential zone requirements relating to lot area or setback requirements of the Borough Zoning Ordinance pursuant to N.J.S.A. 40:55D-70 C (1) or C (2) and applicable laws of the Borough of Oakland in order to: (briefly describe proposal)

DECK

1. APPLICANT INFORMATION

- a. Name: Robert Passaro
- b. Address: 43 overlook Ridge Oakland NJ 07436
- c. Telephone & Email address (include fax number if desired):
551-206-5529 Rpassaro2@gmail.com
- d. Applicant is a: (check applicable status)
☐ Corporation ☐ Partnership ☐ LLC ☒ Individual(s)
- e. If applicant is a corporation or a partnership, please list the names and addresses of persons having a 10 % interest or more in the corporation or partnership on a separate sheet and attach to this application.
- f. Relationship of applicant to property (check applicable status):
☒ Owner ☐ Purchaser under contract ☐ Lessee
☐ Other (please specify): _____

ZONING TABLE

This **MUST** be completely filled out in order for your application to be deemed complete
 ZONE OF SUBJECT PROPERTY: _____

	REQUIRED	EXISTING	PROPOSED
Lot Area	<u>40</u> sf min	<u>17,666</u> sf	<u>17,666</u> sf
Lot Width	<u>8</u> ft min	<u>126.61</u> ft	<u>126.61</u> ft
Lot Depth	<u>100</u> ft min	<u>152.86</u> ft	<u>152.86</u> ft
Building Coverage* (calculated: total building footprint square footage divided by lot area x 100%)	<u>20</u> % max	<u>15.2</u> % (includes Shed)	<u>15.2</u> %
Impervious Coverage** (calculated: total impervious footprint square footage divided by lot area x 100%)	<u>40</u> % max	<u>26</u> %	<u>28.7</u> %
Front Setback	<u>100</u> ft min	<u>30.7</u> ft	<u>30.7</u> ft
Side Setback	<u>50</u> ft min	<u>27.3</u> ft (Left) <u>42.1</u> ft (Right)	<u>41.25</u> ft (Left) <u>43.13</u> ft (Right)
Rear Setback	<u>50</u> ft min	<u>52.5</u> ft	<u>36</u> ft
Building Height	<u>35</u> ft max <u>2.5</u> stories max	<u>30</u> ft <u>2</u> stories	<u>30</u> ft <u>2</u> stories

*Building Coverage: that percentage of a lot covered by the roof(s) of all principal and accessory building(s), including roofed over porches and similar extensions of a building such as roofed decks.

**Impervious Surfaces: surfaces covered by roofs, pavement, walks, patios, and other materials so that underlying soils are highly resistant to infiltration of water. This includes all buildings, porous paving, paver blocks, gravel, crushed stone, decks, patios, elevated structures, and other similar structures, surfaces, or improvements.

CONSTRUCTION SPECIFICATIONS

GENERAL: ALL MATERIALS SHALL BE INSTALLED IN A WORKMANLIKE MANNER AND THE METHODS BE WITHIN THE HIGHEST STANDARDS OF THE APPLICABLE CONSTRUCTION TRADE. ALL WORK SHALL MEET OR EXCEED PROVISIONS OF ALL GOVERNING CODES AND ORDINANCES. THE DRAWINGS ARE PRELIMINARY IN NATURE. IT IS INTENDED THAT THE CONTRACTOR ADJUST DIMENSIONS, MATERIALS AND METHODS OF CONSTRUCTION TO PROPERLY ADAPT THE WORK TO THE SITE CONDITIONS.

EXCAVATION: EXCAVATE FOR ALL FOUNDATION WORK TO DEPTH BELOW GRADE REQUIRED BY LOCAL CODE. FOOTINGS SHALL REST ON UNDISTURBED EARTH.

CONCRETE: SOLID CONCRETE MASONRY UNITS OR 2400# STRENGTH CONCRETE OF 4" SIZE AGGREGATE TO EXCEED THE MINIMUM REQUIREMENTS FOR THE BEARING SOIL IN ACCORDANCE WITH CODE REQUIREMENTS.

CARPENTRY: ALL WOOD SHALL BE #2 OR BETTER SOUTHERN YELLOW PINE, PRESURE-TREATED WITH NON-ARSENIC BASED PRESERVATIVE, OF NOMINAL SIZES DETAILING INDICATED ON THE DRAWINGS OR BY CODE.

METALS: ALL HARDWARE SHALL BE HOT-DIPPED GALVANIZED OR OTHER NON-CORROSIVE FINISH AND SHALL BE OF A SIZE AND SPACING SUFFICIENT TO CARRY OR TRANSMIT THE INTENDED STRUCTURAL LOAD IN ACCORDANCE WITH GOVERNING CODES AND APPLICABLE STRUCTURAL STANDARDS. FINISH HARDWARE SHALL BE NON-CORROSIVE AND SUITABLE FOR EXTERIOR APPLICATIONS.

ANALYSIS OF 2x10 CANTILEVERED DECK JOISTS

CALCULATIONS ARE BASED ON THE FOLLOWING DATA:

- 60 PSF LIVE LOAD
- 10 PSF DEAD LOAD
- 2x10, 18' (ALLOWABLE BENDING STRESS) 800 PSI
- 2x10, 18' (ALLOWABLE TENSILE STRESS) 1000 PSI
- CANTILEVER LENGTH 3'-4" MAX.
- BASE SPAN 16'-2" MAX.
- JOIST SPACING 12" OC
- DEFLECTION LIMITED TO L/240

CALCULATED BENDING STRESS = 544 PSI < 800 PSI OK
DEFLECTION = 16'-2" X 1.07/240 = 0.68" (162 < 240 OK)

THE CALCULATIONS INDICATE SUCH AN APPLICATION IS ACCEPTABLE AND SATISFIES THE DESIGN SPECIFICATIONS OF THE WESTERN WOOD PRODUCTS ASSOCIATION.

UPLIFT AND UPLIFT RESISTANCE

FOR THESE CALCULATIONS THE "WORST CASE" COLUMN (LONGEST SPAN AND LARGEST CONTRIBUTING AREA) WAS USED. THE DECK WAS CONSIDERED A FLAT ROOF. TABLE 1609.4.3 OF THE IRC IS FOR A ROOF WITH MEAN HEIGHT OF 30 FEET LOCATED IN EXPOSURE B. TABLE R301.2(2) OF THE IRC LISTS THE LOWEST MEAN ROOF HEIGHT AT 15' WITH AN ADJUSTMENT COEFFICIENT OF 1.00. THIS DECK IS AVERAGE +/- 9'-0" ABOVE GRADE. DESIGN WIND SPEED = 115 MPH.

UPLIFT
DECK CONTRIBUTING AREA = 3'-3" X 8'-4" = 28 SF

UPLIFT WAS INTERPOLATED FROM TABLE 1609.6.2.1(1), VERTICAL LOAD, INTERIOR ZONE, WINDWARD ROOF, LOAD DIRECTION - LONGITUDINAL, 115MPH = -17.55

60 SF X 17.55PSF = 1053 LBS UPLIFT

RESISTANCE TO UPLIFT

THE GOLIATH METAL POST HAS AN ALLOWABLE WORKING LOAD FOR UPLIFT RESISTANCE OF +/- 4800#.

DEAD LOAD 60 SF X 10# / SF = 600#

GOLIATH TECH METAL POST 4800

HEADLOCK 640

DEAD LOAD 600 TOTAL 6,120 OK



4" STARBORN STRUCTURAL F23 LEDGER/MULTI BOLTS
SPACED - STAGGERED - AS PER MFG. TABLE BELOW.

LEDGER BOLT PATTERN DETAIL NTS

BASED ON 60#LL, S. PINE LEDGER AND 2x LUMBER HOUSE RIM JOIST

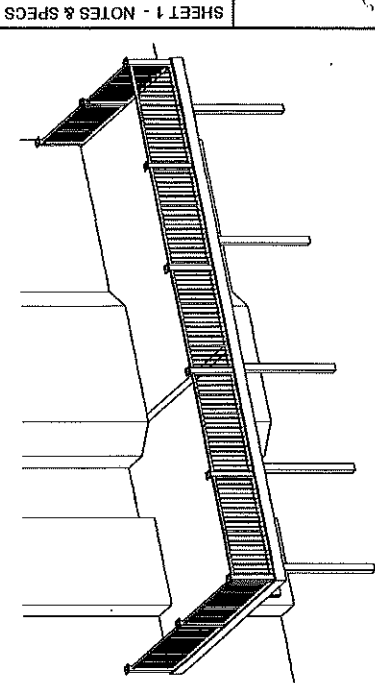
JOIST LENGTH (SPAN FROM LEDGER)
6'-0" OR LESS
6'-0" TO 8'-0"
8'-0" TO 10'-0"
10'-0" TO 12'-0"
12'-0" TO 14'-0"
14'-0" TO 16'-0"

ON CENTER SPACING
17"
13"
13"
18"
8"
8"



THE GOLIATH TECH METAL POST INSTALLER WILL PROVIDE A FIELD REPORT DETAILING AND ATTESTING TO THE LOCATION OF EACH HELICAL PILE, ITS DEPTH, THE ACHIEVED TORQUE AND THE BEARING CAPACITY IN RELATION TO THE TORQUE

A COPY OF THIS REPORT WILL BE PROVIDED TO THE CONSTRUCTION OFFICIAL.



GENERAL INFORMATION

USE GROUP R-5
CONSTRUCTION TYPE 9B

DESIGN LOADS

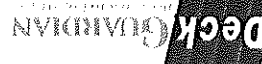
LIVE LOAD 50# / SF
DEAD LOAD 10# / SF
TOTAL LOAD 60# / SF
DESIGN WIND SPEED = 115 MPH.
AREA = 510 SF

BUILDING CODES
N.J.A.C. 5:23-6
2018 INTERNATIONAL RESIDENTIAL CODE NJ ED.

ALTERNATE CONCRETE FOOTING SIZES

LOAD IN LBS	DIAH
0-2137#	14"
2137-2800#	16"
2800-3533#	18"
3533-4362#	20"
4362-4809#	21"
4809-5279#	22"
5280-5770#	23"
5771-6283#	24"
6284-6818#	26"

NOTE:
1. VARIOUS UNMOVABLE OBSTACLES SUCH AS SEPTIC LINES, LARGE ROCKS, ETC. MAY PREVENT A HELICAL PILE FROM BEING DRIVEN TO THE REQUIRED DEPTH. A FOOTING MAY BE SUBSTITUTED FOLLOWING THE TABLE ABOVE.
2. FOOTINGS ARE 8" DEEP AT MIN. 3'-0" BELOW GRADE.
CONTRACTOR SHALL HAVE OPTION TO USE ALTERNATE CONCRETE FOOTINGS OVER HELICAL PILES



NJ LICENSE # 13VH08509200

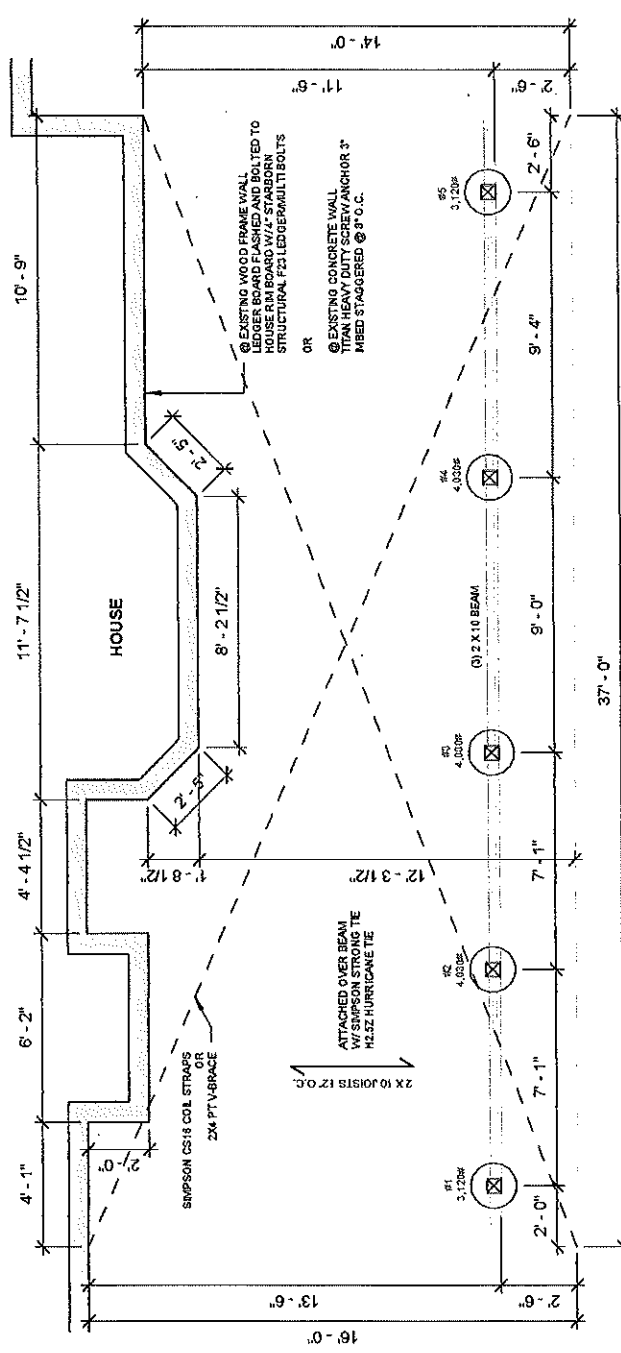
JONATHAN C. WALLACE
N.J. ARCH. LEED AP BD+C
NJ LICENSE # 21A02202500

AVI V
AVI DEVELOPMENT LLC
1837 MANTON ST.
PHILADELPHIA PA 19140
267.469.0275 ARCHITECTURE@AVI.V.COM

SHEET 1 - NOTES & SPECS
ROB & ALISSA PASSARO
43 OVERLOOK RIDGE
OAKLAND, NJ
2/9/2023

FRAMING NOTES

1. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
2. ALL JOISTS SHALL BE NOTED AS PER PLAN.
3. PROVIDE BOARD WALKS OF SAME SIZE AS JOISTS AND ATTACHED TO RIM JOIST AS PER DETAIL. IF LEDGER NOT PROPERLY ALIGNED W/ HOUSE RIM JOIST LEDGER SHALL BE SECURED TO FOUNDATION WALL WITH STAGGERED THRU BOLTS OR WEDGE ANCHORS.
4. PROVIDE JOIST HANGERS AT ALL FLUSH FRAME CONDITIONS.
5. JOIST HANGERS TO BE SIMPSON LU28Z.
6. BLOCK JOISTS AT MID-SPAN FOR SPANS OF 8'-0" OR GREATER.
7. 8x6 PT. CULPS/POSTS TREATED FOR STRUCTURAL GROUND BURIAL WCA 23 PER DETAIL.
8. BEAMS/JOISTS TO BE 5x6 TREATED NAILED. SEE PLAN FOR SIZING AND SPACING.
9. DECKING TO BE 5/4" x 6" TREX
10. RAILS TO BE 36" HIGH W/ 4" OPENINGS PER IRC CODE.
11. STAIRS TO BE BUILT W/ 5/4" LIESX 9" MIN RUN PER IRC CODE.
12. ALL DECK HARDWARE TO BE CORROSION RESISTANT AND INSTALLED PER MANUFACTURERS INSTRUCTIONS.



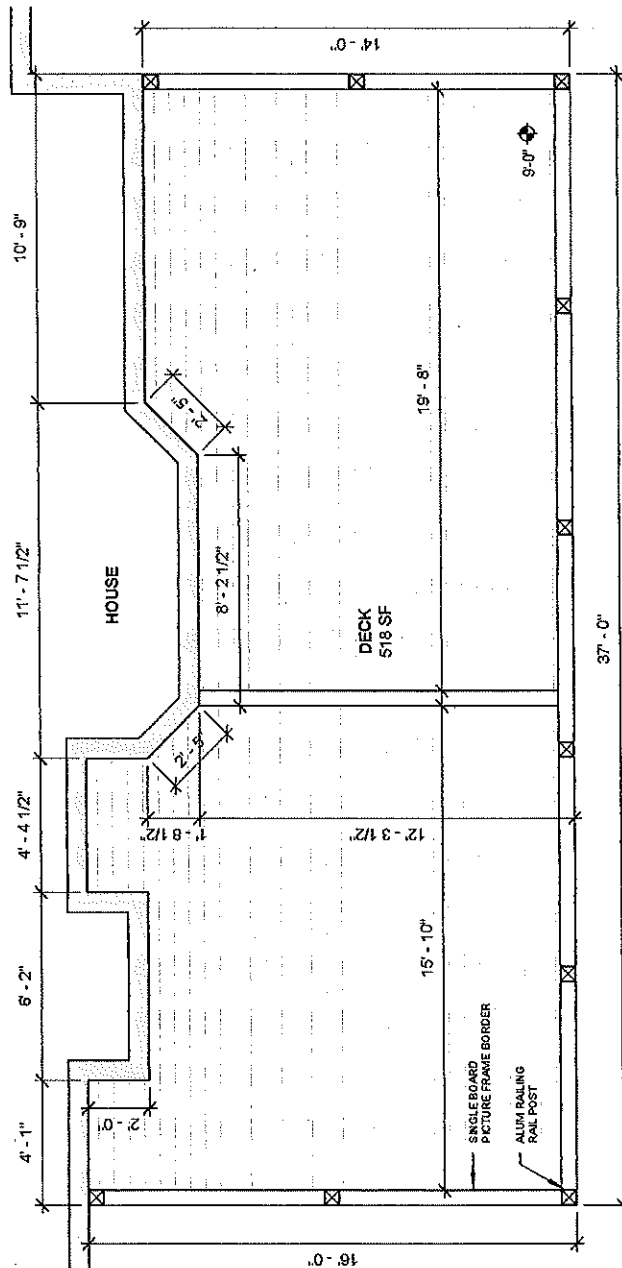
JONATHAN C. WALLACE
 AIA, MARCH, LEED AP BD+C
 NJ LICENSE # 21A02202500
 AIA DEVELOPMENT LLC
 1037 MANOTON ST.
 PHILADELPHIA PA 19146
 469-0275 ARCHITECTURE@AIAV.CO

NJ LICENSE # 13VH08509200

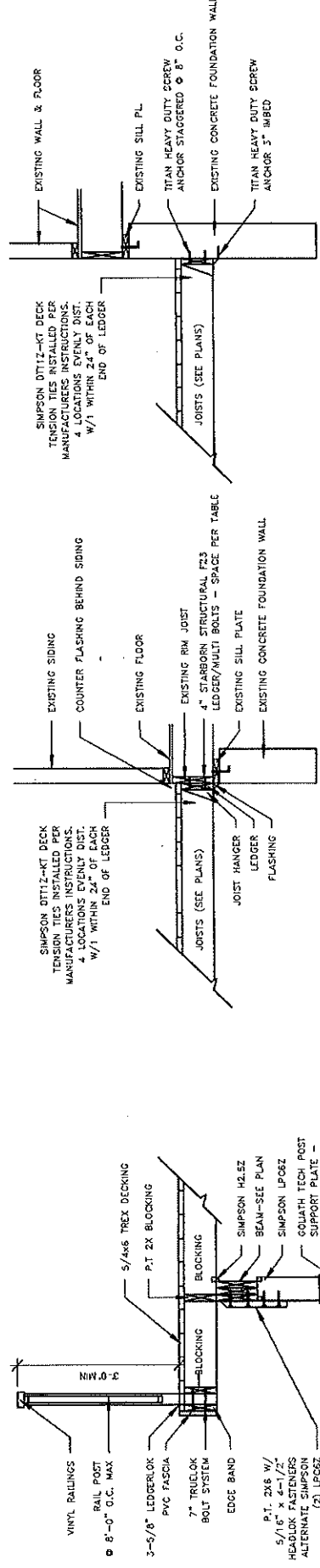
ROB & ALISSA PASSARO
43 OVERLOOK RIDGE
OAKLAND, NJ
2/9/2023

SEAL

FASTEN 5/4X6 TREX DECKING W/HIDDEN FASTENERS

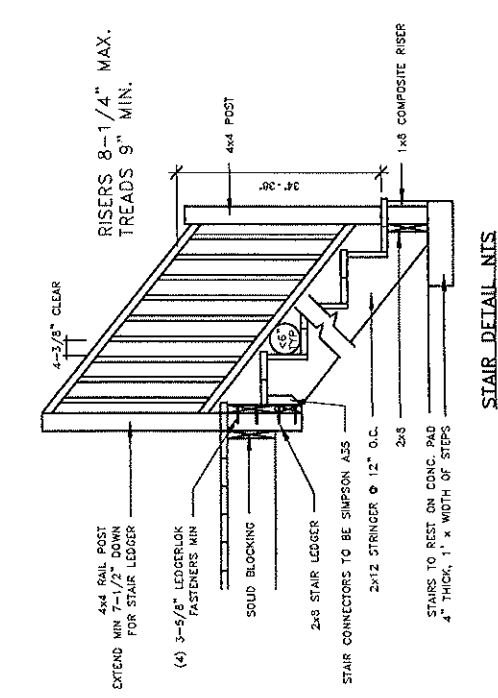


DECK ELEVATION FROM GRADE

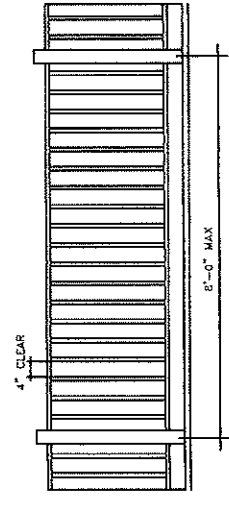


ATTACHMENT DETAIL @ HOUSE CONG. WALL NTS

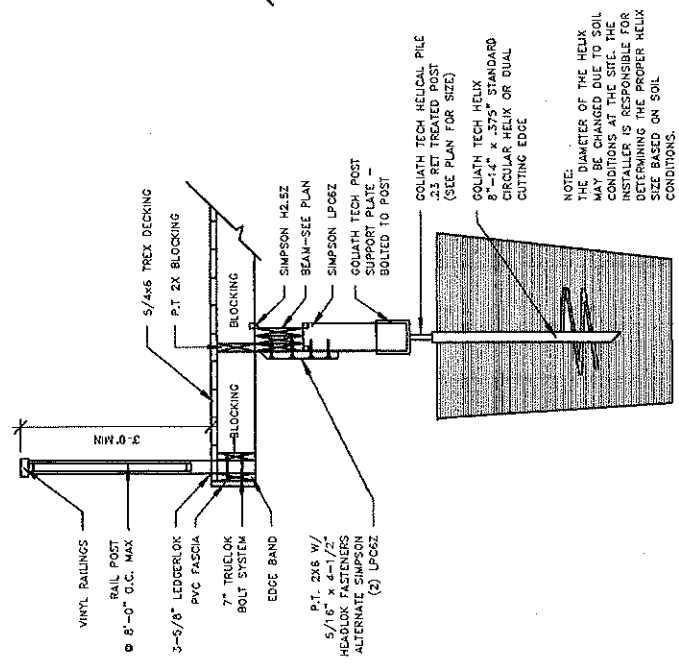
ATTACHMENT DETAIL @ HOUSE RIM BOARD NTS



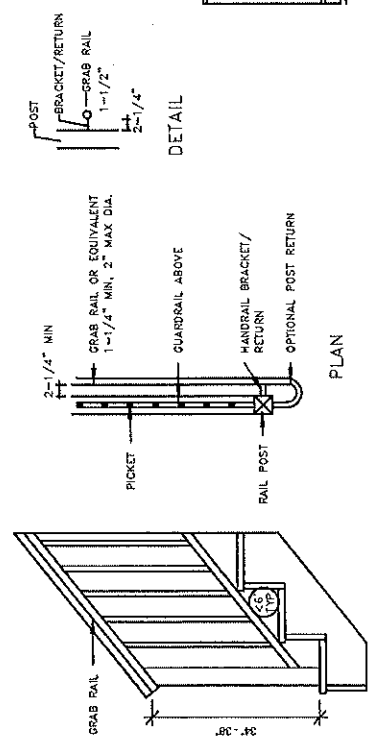
STAIR DETAIL NTS



RAILING ELEVATION NTS



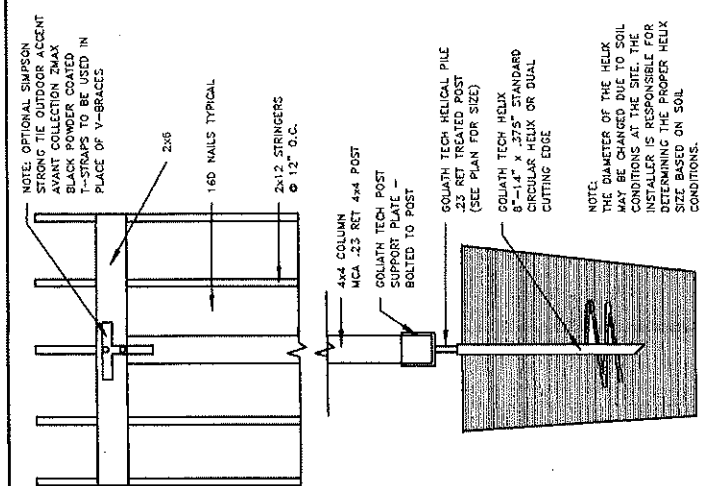
SECTION @ CANTILEVER DECK W/ VINYL RAIL NTS



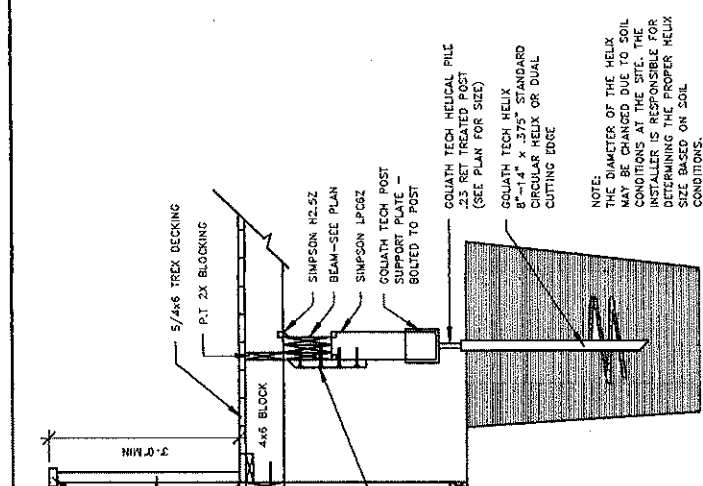
GRASPABLE HANDRAIL NTS

DETAIL

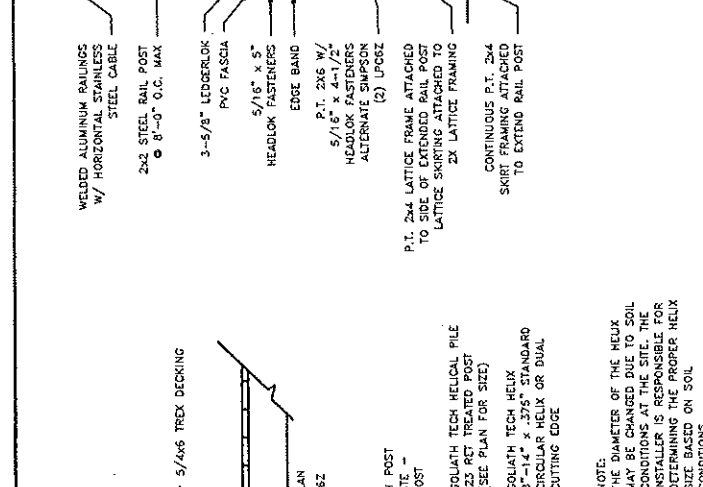
PLAN



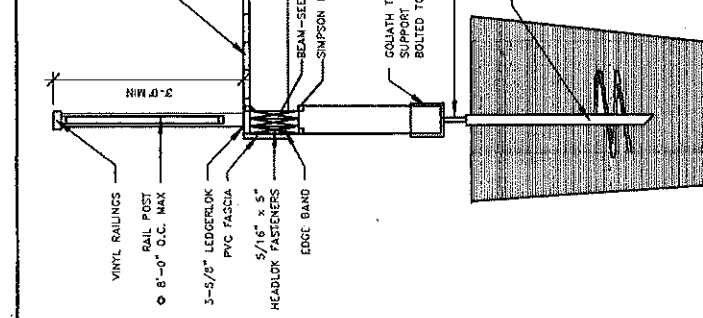
SECTION 1 MID-STRINGER SUPPORT DETAIL NTS



SECTION 2 CANTILEVER DECK W/ ALUM. RAIL NTS

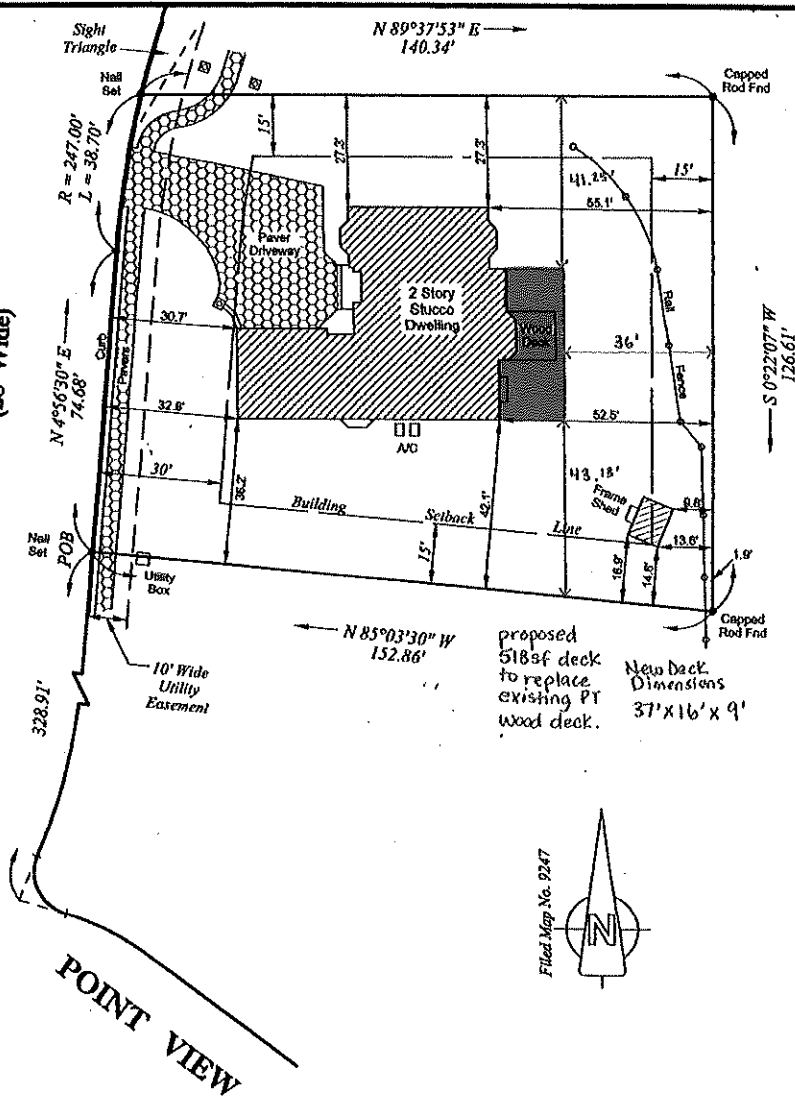


SECTION 3 FLUSH DECK NTS



DETAIL 1 LOW DECK NTS

OVERLOOK RIDGE (28' Wide)



Subject to easements and restrictions that affect subject property. Boundary lines are to be determined by corner markers as set only. Certifications are not transferable to subsequent owners or additional institutions. Underground utilities, if any, are not shown hereon. Subject to an accurate title search.

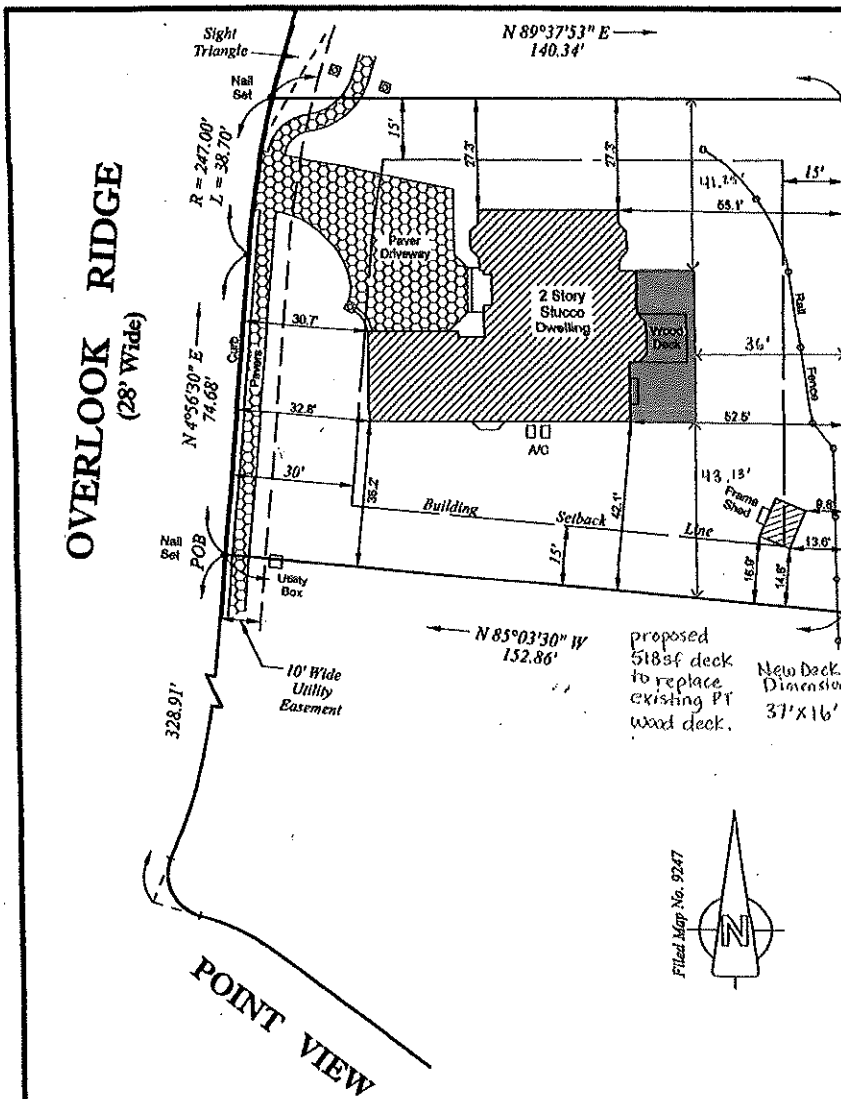
SURVEY OF PROPERTY AT 43 OVERLOOK RIDGE

Borough of Oakland

Bergen County, N.J.

Scale: 1" = 30'

REFERENCES		CERTIFIED TO
TAX MAP LOT 15 BLOCK 803	FILED MAP LOT 23 BLOCK 2601.10	Robert Passaro, Jr.; Wells Fargo Bank, N.A., ISAOA / ATIMA; PTRS Title Agency, LLC; Westcor Land Title Insurance Company; Francis J. Battersby, Esq.
"Final Subdivision Plat for Phase V Ramapo River Reserve, Oakland Borough / Mahwah Township, Bergen County, New Jersey", filed in the Bergen County Clerk's Office on October 26, 2001 as Map No. 9247.		WELLS ASSOCIATES LAND SURVEYING 15 Walker Drive, Ringwood, N.J. 07456 www.NorthJerseyLandSurveyor.com Tel. (973) 962-1444 (973) 962-4969 FAX ARTHUR J. WELLS, Professional Land Surveyor New Jersey License No. 33184 Authorization No. 24GA27973200
Job No. 9521	Area = 0.4056 Acres	July 26, 2021



Lot: 17,668^{sf} Zone: RA-C
 Building Impervious: 20% Max Cov 40% Max Cov
 Home w/garage: 2,581.6^{sf} 14.6%
 Deck: 112^{sf}
 Shed: 104^{sf}
 Pavers: 390^{sf}
 Porch: 64^{sf}
 Driveway: 1,410^{sf}
 A/C: 11^{sf}
 Total Existing Lot Coverage: 4,672
 26%
 Proposed Total Lot Coverage: 5,078.6^{sf}
 28.7%

SURVEY OF PROPERTY AT 43 OVERLOOK RIDGE			
Borough of Oakland		Bergen County, N.J.	
Scale: 1" = 30'			
REFERENCES		CERTIFIED TO	
TAX MAP LOT 15 BLOCK 803	FILED MAP LOT 23 BLOCK 2601.10	Robert Passaro, Jr. ; Wells Fargo Bank, N.A., ISAOA / ATIMA ; PTRS Title Agency, LLC ; Westcor Land Title Insurance Company ; Francis J. Battersby, Esq.	
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Job No. 9521	Area = 0.4056 Acres	July 28, 2021	