



BOROUGH OF OAKLAND, NEW JERSEY

TO: Board of Adjustment

FROM: Glen Turi

This is to advise you that on May 24, 2021 a denial was issued to the resident Kristina Pawelko for the location 73 Manito Avenue, Oakland, NJ 07436

Block: 5401

Lot: 40

Zoning District: RA-3

For: Construction of an addition

For the following reasons:

- 1) Side Yard: 7' ft. and 12'4" proposed, 15 ft. minimum required
- 2) Minimum lot size 15,000 square feet, 14,400 proposed

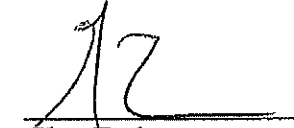
The Ordinances pertaining to this application are:

Chapter 59

Attachment 5

Fee: \$50.00 Paid by: # 3918 LOD: #Z-0524001

An appeal to the Board of Adjustment of the determination must be made within twenty (20) days of the date of this determination.


Glen Turi
Zoning Official

**BOROUGH OF OAKLAND
BERGEN COUNTY, NEW JERSEY**

**APPLICATION FOR RESIDENTIAL VARIANCE FROM
LOT AREA AND SETBACK REQUIREMENTS**

Date 6/3/21

**NOTE: APPLICATION SETS MUST BE COLLATED AND
SUBMITTED IN PACKET FORM FOR PROCESSESSING.**

Date Received _____
Fee Submitted _____
Jurisdiction Date _____
Complete Date _____
Date by _____
Board Action _____

FOR OFFICIAL USE ONLY

The undersigned, as Applicant/Owner of the subject property listed below hereby makes application to the Borough of Oakland Board of Adjustment for relief from residential zone requirements relating to lot area or setback requirements of the Borough Zoning Ordinance pursuant to N.J.S.A. 40:55D-70 C (1) or C (2) and applicable laws of the Borough of Oakland in order to: (briefly describe proposal)

1. APPLICANT INFORMATION

- a. Name: Kristina Pauxlko
- b. Address: 73 Manito Ave Oakland NJ 07438
- c. Telephone (include fax number if desired): 973-768-9181
- d. Applicant is a: (check applicable status)
☐ Corporation ☐ Partnership ☒ Individual(s)
- e. If applicant is a corporation or a partnership, please list the names and addresses of persons having a 10 % interest or more in the corporation or partnership on a separate sheet and attach to this application.
- f. Relationship of applicant to property (check applicable status):
☒ Owner ☐ Purchaser under contract ☐ Lessee
☐ Other (please specify): _____
- g. If applicant is represented by an attorney:
Name: _____
Address: _____
Telephone: _____ Fax: _____

2. PROPERTY INFORMATION

- a. Street address 73 Manito Ave
- b. Tax Map Block(s) 5401 Lot(s) 40
- c. Zone District RA-3
- d. Lot Area 14,400 sq. ft. Lot Dimensions 240 deep 60 wide
- e. Property is located (check applicable status):

☐ Within 200 feet of another municipality. ☐ Adjacent to a State Highway.

☐ Adjacent to an existing or proposed County road. ☐ Adjacent to other County land

Note: If any category is checked, notification concerning this application to the appropriate agency is required.

- f. Property is sewered ☐ Septic system ☒
- g. Current number of bedrooms 3 Proposed number of bedrooms 4
- h. Current number of bathrooms 1 Proposed number of bathrooms 2
- i. Height of building: Existing Stories 20 1/2 Feet 22 1/2
Proposed Stories 2 Feet 22
- j. Percentage of lot occupied by building:
Now: 5 % With proposed addition: 5 %
- k. Setback from property lines:

	Front	Rear	Right Side	Left Side
a. Existing:	<u>45' 1"</u>	<u>170' 9 3/4"</u>	<u>7'</u>	<u>12' 4"</u>
b. Proposed:	<u>45' 1"</u>	<u>170' 9 3/4"</u>	<u>7'</u>	<u>12' 4"</u>

- l. Please list prior applications or municipal actions regarding this property:

none

3. NATURE OF APPLICATION: This is an application for a variance from the strict application of the Borough of Oakland Zoning Ordinance for a use permitted in the Zone in which the property is located. The proposed construction is contrary to the following provisions of the Zoning Code of the Borough (the Zoning Officer should be consulted to determine the appropriate sections) You may attach additional sheets if needed.

Relief Requested:

<u>Section</u>	<u>Required</u>	<u>Proposed</u>
<u>Chapter 59</u>	<u>Side Yard</u>	<u>7ft Right side</u>
<u>Attachment 5</u>	<u>7ft Required</u>	<u>12.4ft left side</u>
	<u>15ft Each side</u>	
<u>Chapter 59</u>	<u>15000 ft²</u>	<u>14,400 proposed</u>
<u>Attachment 5</u>		<u>No change current Building.</u>

4. REASONS FOR REQUEST IN SUPPORT OF THIS APPLICATION

This variance is sought because of (check applicable):

- (a) ☐ Exceptional narrowness of property. (b) ☐ Exceptional shallowness of property.
(c) ☒ Shape of property. (d) ☐ Exceptional topographic or physical features of the site.
(e) ☐ Other extraordinary or exceptional situation.

Describe property features or situation if items (d) or (e) are checked. You may attach additional information if desired to support your application.

Note. Preexisting Home. No changes being made to the
Foot Print of the House. This home was properly permitted when
built

5. OTHER REQUIRED INFORMATION

- a. Attach certification of payment of taxes from Tax Collector.
b. Attach completed checklist.
c. Attach current survey showing existing & proposed improvements and septic system if applicable.

6. VERIFICATION AND AUTHORIZATION

- a. Applicant's Statement: I hereby certify that the above statements made by me and the statements and information contained in the papers submitted in connection with this application are, to the best of my knowledge, true and accurate.

Kristen Pangelko
Applicant's Signature

6/3/21
Date

Applicant's Signature

Date

- b. Owner's Statement: I, the undersigned, being the owner of the property described in this application, hereby consent to the making of this application and the approval of the plans submitted. I further consent to the inspection of this property in connection with this application as deemed necessary by the municipal agency.

Kristen Pangelko
Owner's Signature

6/3/21
Date

Subscribed and sworn to before me this

3rd day of June 2021 (Year)

Richard J. Gidycz
(Notary)

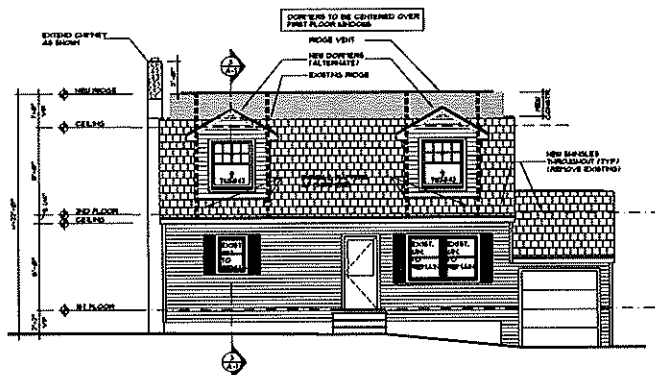
ZONING TABLE

This MUST be completely filled out in order for your application to be deemed complete
 ZONE OF SUBJECT PROPERTY: _____

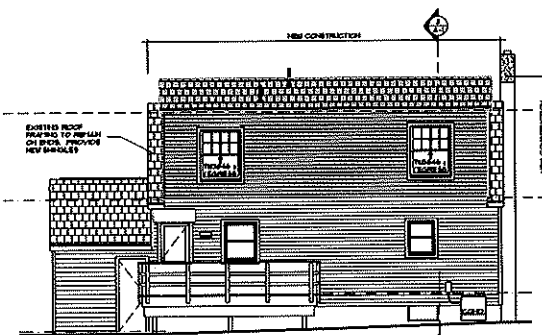
	REQUIRED	EXISTING	PROPOSED
Lot Area	<u>15000</u> sf min	<u>14400</u> sf	<u>14400</u> sf
Lot Width	<u>70.6</u> ft min	<u>60</u> ft	<u>60</u> ft
Lot Depth	<u>146</u> ft min	<u>240</u> ft	<u>240</u> ft
Building Coverage* (calculated: total building footprint square footage divided by lot area x 100%)	<u>20</u> % max	<u>5</u> %	<u>5</u> %
Impervious Coverage** (calculated: total impervious footprint square footage divided by lot area x 100%)	<u>40</u> % max	<u>11</u> %	<u>11</u> %
Front Setback	<u>40</u> ft min	<u>45.1</u> ft	<u>45.1</u> ft
Side Setback	<u>15</u> ft min	<u>12' 4"</u> ft (Left) <u>7'</u> ft (Right)	<u>15</u> ft (Left) <u>15</u> ft (Right)
Rear Setback	<u>35</u> ft min	<u>170' 9 3/4"</u> ft	<u>170' 9 3/4"</u> ft
Building Height	<u>35</u> ft max <u>2 1/2</u> stories max	<u>20</u> ft <u>1 1/2</u> stories	<u>22</u> ft <u>2</u> stories

*Building Coverage: that percentage of a lot covered by the roof(s) of all principal and accessory building(s), including roofed over porches and similar extensions of a building such as roofed decks.

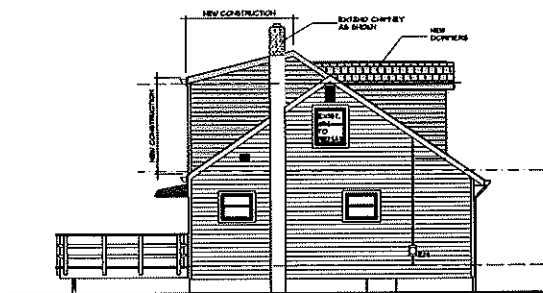
**Impervious Surfaces: surfaces covered by roofs, pavement, walks, patios, and other materials so that underlying soils are highly resistant to infiltration of water. This includes all buildings, porous paving, paver blocks, gravel, crushed stone, decks, patios, elevated structures, and other similar structures, surfaces, or improvements.



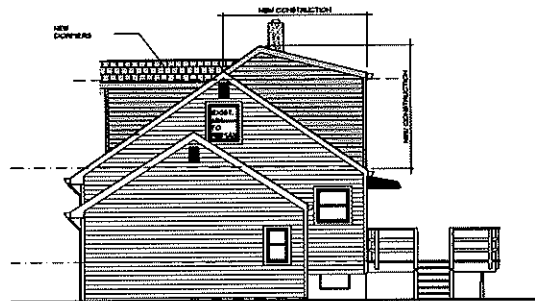
③ FRONT ELEVATION



① REAR ELEVATION



④ RIGHT ELEVATION



② LEFT ELEVATION

LEGEND

SHADED AREAS REPRESENT NEW WOOD-PANED CONSTRUCTION

NOT VALID FOR CONSTRUCTION
SHALL BE USED AND REPRODUCED BY
CHARLES E. KNAPP, AIA, ARCHITECT

**PAWELKO
RESIDENCE**

OAKLAND, NJ

**CHARLES E. KNAPP, AIA
ARCHITECT**

73 MARION AVENUE
OAKLAND, NEW JERSEY
07033-1001
N. JERSEY 07033

NO.	DESCRIPTION	DATE	BY	CHKD.
1	PRELIMINARY			
2	REVISION			
3	REVISION			
4	REVISION			
5	REVISION			
6	REVISION			
7	REVISION			
8	REVISION			
9	REVISION			
10	REVISION			

PROJECT NAME	DATE	BY	CHKD.
ALTERATIONS AND ADDITION 73 MARION AVENUE OAKLAND, NEW JERSEY			
DRAWING TITLE	ELEVATIONS	DATE	BY

DRAWING No.
A-2

PLANT - 10/10/10

ALLOWED ENDGIRTS TO BE
ANDERSON AND MERES, LOW-B
WHITE EXTERIOR PRE-FORMED
WHITE INTERIORS, COLONIAL
PUNTING ON UPPER GASH ONLY.
PROVIDE SCREENS

TYPICAL EXTERIOR WALL:
2x6 MOOD STUDS WITH R-16
BATT INSULATION (PARTIAL ALL
FLANGES OF INSULATION TYPICAL
FACE OF STUDS TO PROVIDE
CONTINUOUS VAPOR BARRIER
ON EXT. SIDE, 1/2" EXT. GRADE
PLUS 2x6x8, TYVEK AIR BARRIER
(TAPE ALL SEAMS OF TYVEK
WITH TYVEK TAPE)
ON INTERIOR SIDE, 1/2" GIBB
(TYPICAL)
FRAMING ANCHORS
USE BRONCH STRAPS AT EVERY
STUD TO RHT JOIST CONNECTION
18" MAX
USE BRONCH STRAPS AT EVERY
RAFTER TO RIDGE BEAM
CONNECTION, CS-1625D

PROVIDE ICE AND WATER GABELO,
3/4" SIDE STRIPS EACH SIDE OF
RODGE, VALLEYS, AND EDGE OF
ROOF (TYP)

TYPICAL ROOF CONSTRUCTION:
ASPHALT SHINGLES OVER 1/2"
BUILDING PAPER ON 3/4" EXTERIOR
GRADE PLUS 2x6x8, TYVEK AIR
BARRIER, 2x6x8, 16" O.C.

NEW RIDGE BEAM WITH CONTINUOUS
RODGE VENT
REPLACE EXISTING RIDGE WITH (3) NEW
1-3/4" X 8-1/8" LVL'S (FULL LENGTH OF
RODGE) POST DOWN WHERE SHOWN IN
PLAN (18" O.C. MAX. SPAC)

NEW CORNER
(ALTERNATE)
2x6 RAFTERS AND
CLG JOISTS, 16" O.C.

VINYL CLAD, DOUBLE
GLAZED
WINDOWS
EXT. TRIM TO
MATCH
EXISTING

2x6'S, 16" O.C.,
WITH R-16
BATT
INSULATION
AND 1/2" GIBB
RODGE
STRUCTURE TO
BE REMOVED

REMOVE EXISTING
FLOORING AND PROVIDE
120 LAYERS OF 3/4"
STUD-FLOOR

EXISTING FLOOR JOISTS
TO REMAIN, 2x6'S, 16"
O.C.

DINING ROOM

CL.

BEDROOM

BEDROOM

BEDROOM

BEDROOM

BEDROOM

BEDROOM

BEDROOM

BEDROOM

BEDROOM

BEDROOM

BEDROOM

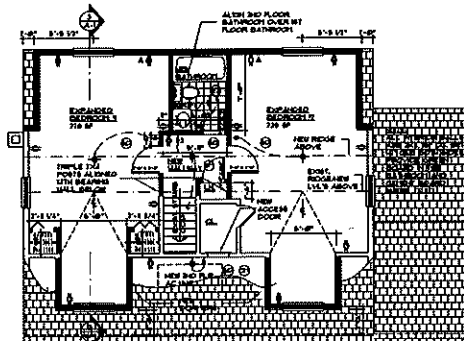
BEDROOM

BEDROOM

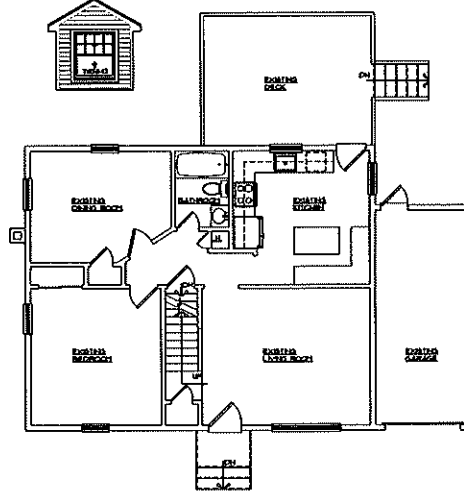
BEDROOM

BEDROOM

3 SECTION
SCALE: 1/2" = 1'-0"



2ND FLOOR



1ST FLOOR

NOT VALID FOR CONSTRUCTION
UNLESS SIGNED AND SEALED BY
CHARLES E. KNAPP, AIA, ARCHITECT

PAWELKO
RESIDENCE

CHARLES E. KNAPP, AIA
ARCHITECT
1001 W. 10TH AVE. 2ND FLOOR
OAKLAND, CA 94612
415.763.8800

NO.	DESCRIPTION	DATE	SECTION
1	1ST FLOOR		
2	2ND FLOOR		
3	SECTION		
4	SECTION		
5	SECTION		
6	SECTION		
7	SECTION		
8	SECTION		
9	SECTION		
10	SECTION		
11	SECTION		
12	SECTION		
13	SECTION		
14	SECTION		
15	SECTION		
16	SECTION		
17	SECTION		
18	SECTION		
19	SECTION		
20	SECTION		
21	SECTION		
22	SECTION		
23	SECTION		
24	SECTION		
25	SECTION		
26	SECTION		
27	SECTION		
28	SECTION		
29	SECTION		
30	SECTION		
31	SECTION		
32	SECTION		
33	SECTION		
34	SECTION		
35	SECTION		
36	SECTION		
37	SECTION		
38	SECTION		
39	SECTION		
40	SECTION		
41	SECTION		
42	SECTION		
43	SECTION		
44	SECTION		
45	SECTION		
46	SECTION		
47	SECTION		
48	SECTION		
49	SECTION		
50	SECTION		
51	SECTION		
52	SECTION		
53	SECTION		
54	SECTION		
55	SECTION		
56	SECTION		
57	SECTION		
58	SECTION		
59	SECTION		
60	SECTION		
61	SECTION		
62	SECTION		
63	SECTION		
64	SECTION		
65	SECTION		
66	SECTION		
67	SECTION		
68	SECTION		
69	SECTION		
70	SECTION		
71	SECTION		
72	SECTION		
73	SECTION		
74	SECTION		
75	SECTION		
76	SECTION		
77	SECTION		
78	SECTION		
79	SECTION		
80	SECTION		
81	SECTION		
82	SECTION		
83	SECTION		
84	SECTION		
85	SECTION		
86	SECTION		
87	SECTION		
88	SECTION		
89	SECTION		
90	SECTION		
91	SECTION		
92	SECTION		
93	SECTION		
94	SECTION		
95	SECTION		
96	SECTION		
97	SECTION		
98	SECTION		
99	SECTION		
100	SECTION		

PROJECT NAME:
ALTERATIONS AND ADDITION
73 MANTO AVENUE
OAKLAND, NEW JERSEY
SCALE: AS NOTED
DATE: .
DRAWING TITLE: PLAN AND SECTION
DRAWING No.
A-1